

## **TANANA CHIEFS CONFERENCE**

### **REQUEST FOR PROPOSALS FOR CHIEF PETER JOHN TRIBAL BUILDING RESTROOM UPGRADES: FLOORS 2, 3, 4 AND 6 PROFESSIONAL DESIGN SERVICES**

**Issued By:**

Tanana Chiefs Conference  
122 First Avenue, Suite 600  
Fairbanks, Alaska, 99701

November 30, 2020

TANANA CHIEFS CONFERENCE  
CPJTB RESTROOM UPGRADES: FLOORS 2, 3, 4 AND 6  
RFP FOR PROFESSIONAL DESIGN SERVICES

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Attachments

- A. CPJTB 5<sup>th</sup> Floor Lobby Renovation Construction Drawings by Stantec
- B. CPJTB 5<sup>th</sup> Floor Lobby Renovation Photos
- C. CPJTB 2<sup>nd</sup>, 3<sup>rd</sup>, 4<sup>th</sup> and 6<sup>th</sup> floor plans
- D. TCC Sample Contract – To be provided by Addenda

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RFP FOR PROFESSIONAL DESIGN SERVICES

**I. SOLICITATION**

Tanana Chiefs Conference (TCC) is soliciting proposals for professional architectural and interior design services to renovate the community restrooms and a single user restroom in the Chief Peter John Tribal Building located in Fairbanks, Alaska.

The community restrooms on the 2<sup>nd</sup>, 3<sup>rd</sup> and 4<sup>th</sup> floors will replicate the 5<sup>th</sup> floor restroom in all aspects of design which was upgraded in 2015. Attachment A: 5<sup>th</sup> Floor Construction Drawings and Attachment B: Completion Photos are provided as part of this RFP.

**RFP Download:** Interested parties may view and download RFP documents at the following locations:

- The Plans Room: <http://www.theplansroom.com/>
- Associated General Contractors of Alaska Plans: <http://www.agcak.org/agc-online-plans.html>
- Tanana Chiefs Conference: <https://tananachiefs.org> - Refer to "Bid Information"
- Proposers may also request the RFB by contacting: Arcadis Project Administrator, Tara Zhugar at [tara.zhugar@arcadis.com](mailto:tara.zhugar@arcadis.com)

**Registration/Questions:** Each firm must register to submit questions and receive addenda notifications. To register, please send an email to Project Administrator, Tara Zhugar at [tara.zhugar@arcadis.com](mailto:tara.zhugar@arcadis.com) and Project Manager, Marion Bella at [marion.bella@arcadis.com](mailto:marion.bella@arcadis.com). Include firm name, address, telephone and name/email address of contact person.

**Written Questions and Addenda Publication:** All questions must be submitted in writing on or before December 11, 2020 by 2:00 p.m. Alaska Time (AKT). The last Addendum will be published on or before December 14, 2020.

**Proposal Submission Deadline:** Proposals must be received no later than December 18, 2020 2:00 PM Alaska Time (AKT), at the office of Arcadis, 410 Second Ave, Suite 206, Fairbanks, Alaska 99701, Attention: Marion Bella or via email to [marion.bella@arcadis.com](mailto:marion.bella@arcadis.com). Proposals received after the time announced will not be considered, unless otherwise determined by TCC.

Due to COVID-19 protocols:

- Emailed electronic proposals will be accepted. Recommend setting a delivery and read receipt.
- Proposals will not be opened publicly.

Faxed proposals will not be accepted.

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**II. PROJECT OVERVIEW**

Headquartered in Fairbanks, Alaska, Tanana Chiefs Conference (TCC) is a non-profit Tribal Organization that provides health services, education, training, and work force development opportunities to more than 10,000 Alaska Natives located in 42 Villages throughout Interior Alaska. TCC's primary office building is the Chief Peter John Tribal Building (CPJTB) located at 122 First Avenue.

The Restroom Upgrades Project is comprised of two main design components; 1) replication of the 5<sup>th</sup> floor restroom upgrades in both architecture and interior design for the community restrooms on floors 2, 3, and 4; and 2) a complete interior renovation of the 6<sup>th</sup> floor single user restroom on the west side of the building.

The general scope of renovation work for the restrooms includes new floor, wall and ceiling finishes, new built-in casework, new fixtures, and related mechanical/electrical/lighting revisions and improvements.

See CPJTB 2<sup>nd</sup>, 3<sup>rd</sup>, 4<sup>th</sup> and 6<sup>th</sup> floor plans in Attachment C for current layout.

**III. PROJECT SCHEDULE**

It is anticipated that a Notice of Intent Award will be issued to the selected A/E team on December 21, 2020. Upon final negotiation of scope, schedule and level-of-effort for the Project, the firm should be prepared to begin work on the Project immediately after the fees are negotiated and the firm is issued a Notice to Proceed which is expected to be by January 4, 2021.

Designated design phases, including review periods, are projected to take approximately two (2) months immediately after which the project will be bid for construction. Bidding/construction activities and furnishings/equipment procurement/installation is anticipated to take approximately six (6) months.

**IV. SCOPE OF WORK**

TCC is requesting proposals from qualified individuals, firms or teams of professionals to provide A/E Services for the CPJTB Restroom Upgrades: Floors 2, 3, 4 and 6 Project. These services will include architectural/interior design, structural (if needed), mechanical, electrical, cost estimating, and other specialties as may be necessary.

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Scope of Work includes:

- **Construction Drawings Floors 2, 3 and 4:** The A/E shall provide complete final stamped bid-ready construction drawings for the proposed project. **Renovation of the 5<sup>th</sup> floor public toilet layouts and finishes are to be used as the basis of this project's design.** Drawings and Submittals shall be provided at the 65%, 95% and Final bid-ready construction documents. Drawings and Specifications shall embody adequate design documentation with details, dimensions, notational information and other data to ensure the Construction Contractor has a complete understanding of all elements of work.
- **Construction Drawings 6<sup>th</sup> Floor:** The A/E shall complete final stamped bid-ready construction drawings for the proposed project. Submittals shall be provided at the following design phases: 65% Design Development, 95% and Final bid-ready construction documents. Drawings and Specifications shall be developed from approved preliminary design documents and they shall embody adequate design documentation with details, dimensions, notational information and other data to ensure the Construction Contractor has a complete understanding of all elements of work.

Construction drawings shall adhere to uniform CAD standards. Final construction drawings shall be signed and sealed by the architect and engineer licensed in the State of Alaska under whose discipline the work relates.

- **Specifications:** The A/E shall complete general requirement specifications (Division 1) and construction specifications (Divisions 2 thru 49) to support all labor, material, and equipment needs for construction. Division 1 specifications shall be edited to the unique requirements of TCC and this project. Division 2 through 49 specifications shall be complete and thorough, covering all aspects of the project and shall define the required quality of the material and workmanship. Execution requirements shall be specific enough to produce the desired results and performance without unnecessarily limiting the Contractor in the choice of methods.

The specifications format shall be the latest CSI Master Format Edition to coincide with the latest RS Means Building Construction Cost Data.

The A/E shall also submit product information or vendor cut sheets in support of major systems, components, finishes, and equipment.

- **Cost Estimates:** The A/E Team will provide a total of one (1) cost estimate at the 65% phase. Cost estimates shall be the best estimate available of construction costs based

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RFP FOR PROFESSIONAL DESIGN SERVICES

upon a competitive bid procurement. Cost estimate format shall use the latest CSI Master Format Edition divisions.

- **Design Review Meetings:** The A/E shall conduct a design review meeting over a web-based communication platform such as Microsoft Teams or Zoom, to discuss the TCC review comments at the 65%, and 95% design phases for the 6<sup>th</sup> Floor single user restroom and 65% and 95% phases for floor 2, 3 and 4 before proceeding with the next submittal.
- **Bidding Phase Services** – A/E services during the bidding phase will include, but are not limited to, review of contractor design questions and preparation of responses during the contractor bid process.
- **Construction Administration** – A/E construction administration services will include, but are not limited to, attending weekly coordination meetings (via teleconference for those unable to participate in-person) and site visits, review and coordinate submittals, prepare RFI responses, review RFPs and make recommendations, develop supplemental design instructions as necessary, review pay estimates, participate in substantial and final inspections and punch listing, and review/approve O&M Manuals.
- **As-Built Drawings** – The A/E team shall submit as-built drawings to the Owner in both AutoCAD and PDF electronic formats for the project records and future maintenance.

**V. PROJECT DELIVERABLES**

Permit Documents (65% Design Development)

- Drawings: (4) hard copies, 11x17; electronic PDF
- Specification Outline: (4) hard copies, 8.5x11; electronic PDF
- Cost Estimate: (4) hard copies, 8.5x11; electronic PDF

Signed Construction Documents

- Drawings: (4) hard copies, 11x17; (4) hard copies, 22x34
- AutoCAD .dwg files of Drawings
- Specification Outline: (4) hard copies, 8.5x11; electronic PDF
- Word .doc files of specifications
- Digital copy of Drawings and Specification Files

Record Drawings

- Drawings: (4) hard copies, 11x17
- AutoCAD .dwg files of Drawings
- Digital copy of Drawings and Specification Files

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**VI. PROPOSAL FORMAT**

Proposals should respond directly to the evaluation criteria for this project. Additional material (other than that requested below) is not required or desired. Clarity and brevity are encouraged. Limit submittals as follows:

Cover Letter	1 pages maximum
Response to Criteria A-D	5 pages maximum
Team Member Resumes	2 pages maximum per person
Addenda Acknowledgement Form	attached to RFP
Design Fee Proposal Form	attached to RFP

One page is defined as one side of a standard 8 ½ " by 11" sheet of paper. Submittals shall be presented in 8 ½ " by 11" format. A limited number of larger sheets may be included if folded to the 8 ½" by 11" format. Larger sheets will count as two pages. Cover letter, resumes, forms, tabs and/or divider pages do not count against the maximum page limits. Please use a minimum 10-point font size. Small print that is difficult to read may negatively influence evaluation of the submittal.

The following identifies specific content expected for each section.

**Cover Letter**

The cover letter shall briefly introduce your team and state your understanding of the project and explain why the respondent team is the best qualified to provide those services. Give the name and contact information of the person who is authorized to make representations and commitments for your organization. The letter should be signed by an officer or other individual with the authority to bind the organization.

**A. Relevant Firm Experience (35 points)**

A/E firm to illustrate its demonstrated ability to manage and successfully complete projects of comparable design, scope and complexity, including experience of firm and key employees in providing architect and engineering design services to tribal organizations, including TCC. For each project listed, provide information concerning: i) the type of project, price or budget range, name and location; ii) the original bid/proposal price and final contract price; iii) the original date scheduled for completion and the actual completion date; and iv) project references, name and contact information for the owner of the three most recent relevant projects your firm has completed.

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**B. Team Personnel (35 points)**

Describe each team member's role and relevant project experience.

Provide an organizational chart indicating team organization, key personnel, team member firms/roles. Indicate if team members have previous experience working together.

Additionally, provide resumes for key personnel noting educational background, relevant project experience and references with contact information for the two most recent relevant projects.

**C. Capacity (10 points)**

Describe current and proposed project commitments for each of the proposed team members during the project period. Provide an estimate of a percentage of time each team member will be able to commit to this project's success.

**D. Fee Proposal Form (20 points)**

Complete the Design Fee Proposal Form in Section XII of this RFP and include with the Proposal. Please submit fee proposal in a separate PDF file from proposal so pricing can be reviewed separately.

**E. Addenda Acknowledgement Form**

Complete the Addenda Acknowledgement Form in Section XIII of this RFP and include with the proposal.

**VII. SELECTION PROCESS AND CRITERIA**

Each proposal will be evaluated and scored by committee members. The highest scoring Firm will be issued a Notice of Intent to Award letter.

Selection Criteria/Weighting:

- A. Relevant Firm Experience (35)
- B. Team Personnel (35)
- C. Capacity (10)
- D. Design Fee Proposal (20)

Fee will be scored using the following formula:

$$\text{Score} = 20 \times (2 \times \text{Lowest Proposed Price} / \text{Proposer's Price} - 1).$$



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For example, Proposer A's fee is \$80,000 and was lowest price. Proposer B's fee is \$100,000.

Proposer A Score =  $20 \times (2 \times 80,000/80,000 - 1) = 20$  points

Proposer B Score =  $20 \times (2 \times 80,000/100,000 - 1) = 12$  points

**VIII. SELECTION AND DESIGN SCHEDULE**

The anticipated schedule for the Design Team selection process follows. All dates are approximate and contingent upon the completion of previous activities.

<b>Request for Proposal Issued</b>	November 30, 2020
<b>Deadline for Questions (2:00 pm AKT)</b>	December 11, 2020
<b>Last Addenda Published</b>	December 14, 2020
<b>Proposal Submission Deadline (2:00 pm AKT)</b>	December 18, 2020
<b>Proposal Review</b>	December 18, 2020
<b>Notice of Intent to Award</b>	December 21, 2020
<b>Notice to Proceed</b>	January 4, 2021
<b>Permit Documents/65% Design Development Drawings</b>	February 22, 2021
<b>Permit Documents/65% DD Review Meeting</b>	February 26, 2021
<b>Signed Construction Documents</b>	March 15, 2021

**IX. PROJECT CONTRACT**

Upon Notice of Intent to Award, the intent is for TCC to enter negotiations with the top-ranked Proposer. If for some reason an Agreement cannot be reached with the top-ranked Proposer, TCC reserves the right to terminate negotiations and commence negotiations with the second-ranked Proposer and so on. TCC also reserves the right to terminate the selection process at any point.

A sample contract will be provided by addenda for general reference.

**X. SUBMITTAL REQUIREMENTS**

To be considered, all Proposals must be delivered to the address below, on or before the deadline.

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**Questions** – All questions regarding this RFP must be submitted in writing to Project Manager, Marion Bella at [marion.bella@arcadis.com](mailto:marion.bella@arcadis.com). Prior to 2:00 PM AKT on December 11, 2020. Written responses will be provided to all proposers via an addendum. Only questions answered by formal written addenda to the RFP will be binding; oral and other interpretations or clarifications will be without legal effect.

**Proposal Submission Deadline** – All Proposals must be received by Arcadis Fairbanks office no later than 2:00 PM AKT on December 18, 2020.

**Delivery Instructions** – mail, hand deliver or courier proposal package in a sealed envelope to:

Arcadis U.S., Inc.  
410 Second Avenue, Suite 206  
Fairbanks, Alaska, 99701

Mark the envelope to identify the project: “TCC CPJTB Restroom Upgrades: Floors 2, 3, 4 and 6 – Professional Design Services”.

Emailed proposals can be sent to: [marion.bella@arcadis.com](mailto:marion.bella@arcadis.com)

Faxed proposals will not be accepted.

## **XI. TERMS AND CONDITIONS**

### **Waiver of Minor Informalities**

TCC expressly reserves the right to waive minor informalities, negotiate changes or reject any and all proposals and to not award the proposed contract, if in its best interest. “Minor informalities” means matters of form rather than substance which are evident from the submittal or are insignificant matters that have negligible effect on price, quantity, quality, delivery or contractual conditions and can be waived or corrected without prejudice to the other Proposers.

### **Proposal Preparation**

In submitting a proposal in response to this RFP, each Proposer acknowledges that TCC shall not be liable to any person, company or representative for any costs incurred in preparation of their proposal or any costs incurred in anticipation of TCC’s action approving or disapproving any proposed agreement.

### **Ownership of Proposals**

All proposals and other materials become the property of the Owner and may be returned only at the option of the Owner. Proposals will not be made public unless required by law.

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**XII. DESIGN FEE PROPOSAL FORM**

\_\_\_\_\_  
Design Firm

\_\_\_\_\_  
Address

\_\_\_\_\_  
City, State, Zip Code

\_\_\_\_\_  
Date

\_\_\_\_\_  
AK State Business License #

Permit Documents/Signed Construction Documents (Lump Sum):

\_\_\_\_\_ (\$ \_\_\_\_\_ )  
Words Figure

Bidding (T&E, Not to Exceed):

\_\_\_\_\_ (\$ \_\_\_\_\_ )  
Words Figure

Construction Administration (T&E, Not to Exceed):

\_\_\_\_\_ (\$ \_\_\_\_\_ )  
Words Figure

Total:

\_\_\_\_\_ (\$ \_\_\_\_\_ )  
Words Figure

\_\_\_\_\_  
Legal Name of Proposing Organization

\_\_\_\_\_  
By

\_\_\_\_\_  
Date

TANANA CHIEFS CONFERENCE  
CPJTB RESTROOM UPGRADES: FLOORS 2, 3, 4 AND 6  
RFP FOR PROFESSIONAL DESIGN SERVICES

**XIII. ADDENDA ACKNOWLEDGEMENT FORM**

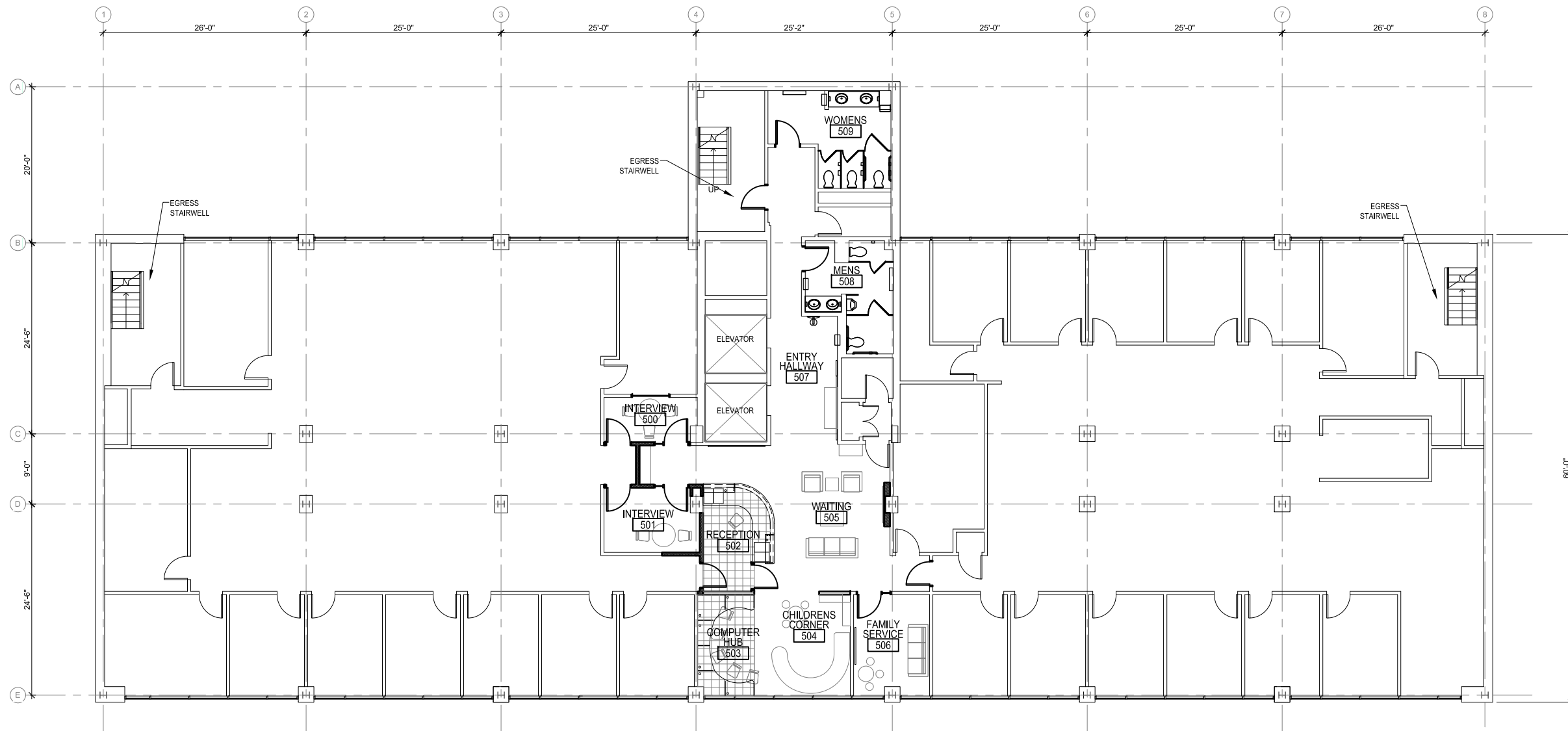
The Proposer acknowledges receipt of the following Addenda:

Addendum No. _____	Dated: _____	Initials: _____
Addendum No. _____	Dated: _____	Initials: _____
Addendum No. _____	Dated: _____	Initials: _____

_____ Company	_____ Date
_____ Signature and Title	_____ Printed Name



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**FIRE CODE REVIEW - RENOVATION**

SCALE: 1/8"=1'-0"

**FIRE AND BUILDING CODE REVIEW**

2009 INTERNATIONAL EXISTING BUILDING CODE (IEBC)  
2009 INTERNATIONAL BUILDING CODE (IBC)

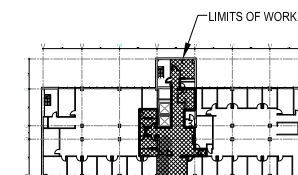
**PROJECT DESCRIPTION:**  
TENANT IMPROVEMENT FOR 5TH FLOOR LOBBY & RESTROOMS OF AN EXISTING OFFICE BUILDING. OFFICE BUILDING LOCATED AT 122 1ST AVE., FAIRBANKS, AK. 99701. 5TH FLOOR RENOVATION IS 1,888 SQ FT.

**CLASSIFICATION OF WORK:** LEVEL 2 ALTERATION  
"LEVEL 2 ALTERATIONS INCLUDE THE RECONFIGURATION OF SPACE, THE ADDITION OR ELIMINATION OF ANY DOOR OR WINDOW, THE RECONFIGURATION OR EXTENSION OF ANY SYSTEM, OR THE INSTALLATION OF ANY ADDITIONAL EQUIPMENT."

**OCCUPANCY CLASSIFICATION**  
B, BUSINESS

**FIRE SYSTEM**  
FULLY SPRINKLERED

**GROUND ACCELERATION**  
SUB S = 1.09  
S OF 1 = 0.30  
OCCUPANCY CATAGORY 2



5th FLOOR KEY PLAN



By	
Revision	
Date	



2515 'A' Street  
Anchorage, Alaska 99503  
(907) 276-4245  
544 4th Avenue,  
Suite 102  
Fairbanks, Alaska 99701  
(907) 452-2128  
3017 Clinton Drive  
Suite 201  
Juneau, Alaska 99801  
(907) 790-2901  
351 W. Parks Highway  
Suite 200  
Wasilla, Alaska 99654  
(907) 376-7815

www.stantec.com

Project:  
**CHIEF PETER JOHN  
TRIBAL BUILDING**  
  
**5TH FLOOR LOBBY  
RENOVATION**

Project No. 01124 08278 002584  
TANANA CHIEFS CONFERENCE  
122 1ST AVENUE  
FAIRBANKS, AK 99701

Project Mgr.	VANDERWEELE
Drawn	maf
Checked	JC
Date	10/15/2015

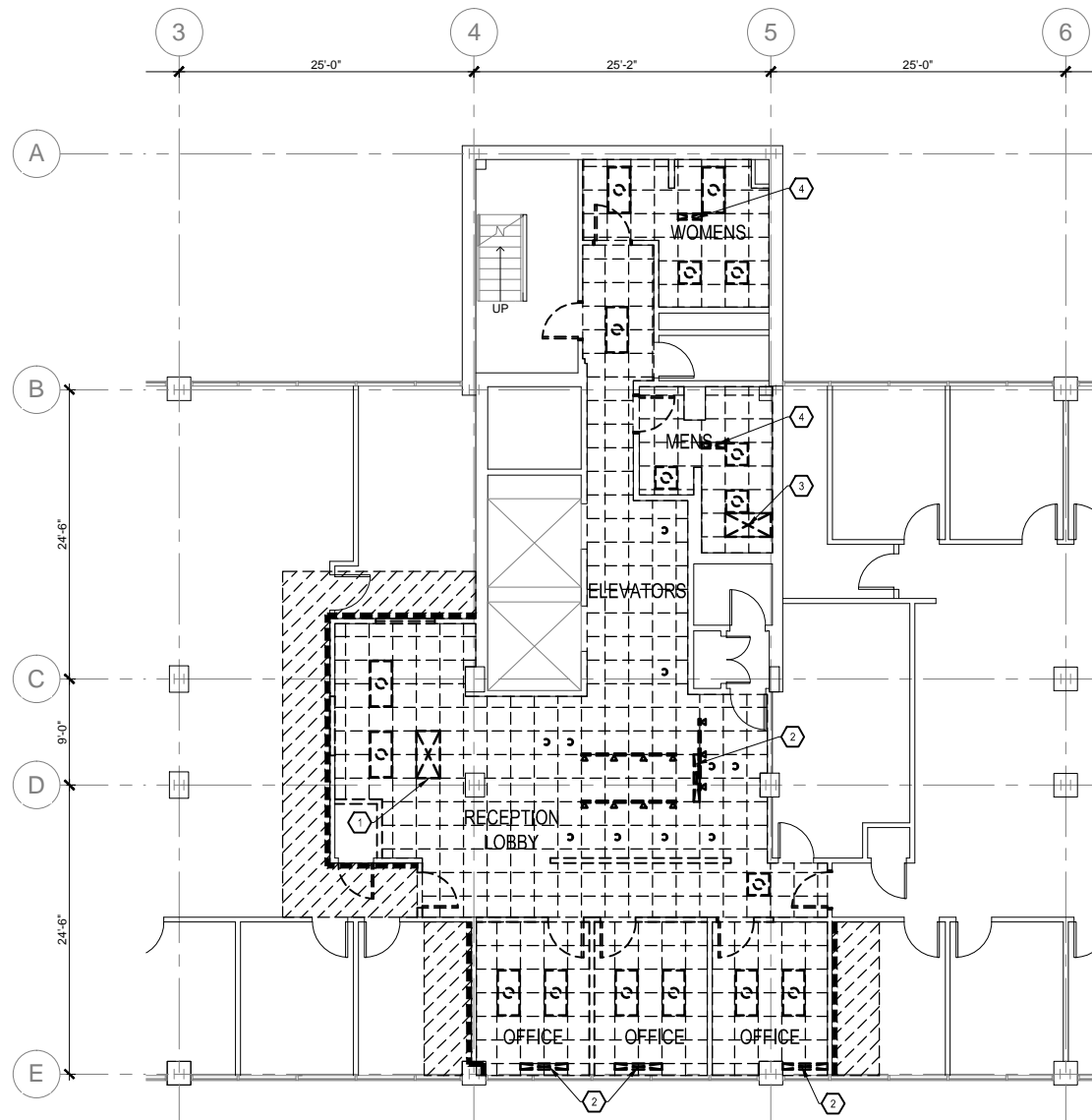
Sheet Contents:  
**FIRE CODE  
REVIEW -  
RENOVATION**

Sheet No.:  
**A-100**

STANTEC W.O. 2046049200

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**2 CEILING PLAN - DEMOLITION**  
A-101 SCALE: 1/8"=1'-0"

**CEILING PLAN DEMOLITION LEGEND:**  
-EXISTING TO REMAIN UNLESS OTHERWISE NOTED-

-EXISTING SPRINKLER SYSTEM WILL REQUIRE MODIFICATION-

□ □ □ □ REMOVE SUSPENDED 24"x24" SUSPENDED ACOUSTIC TILE CEILING ASSEMBLY (PANELS & GRID SYSTEM)

○ ○ ○ ○ REMOVE LIGHT FIXTURES

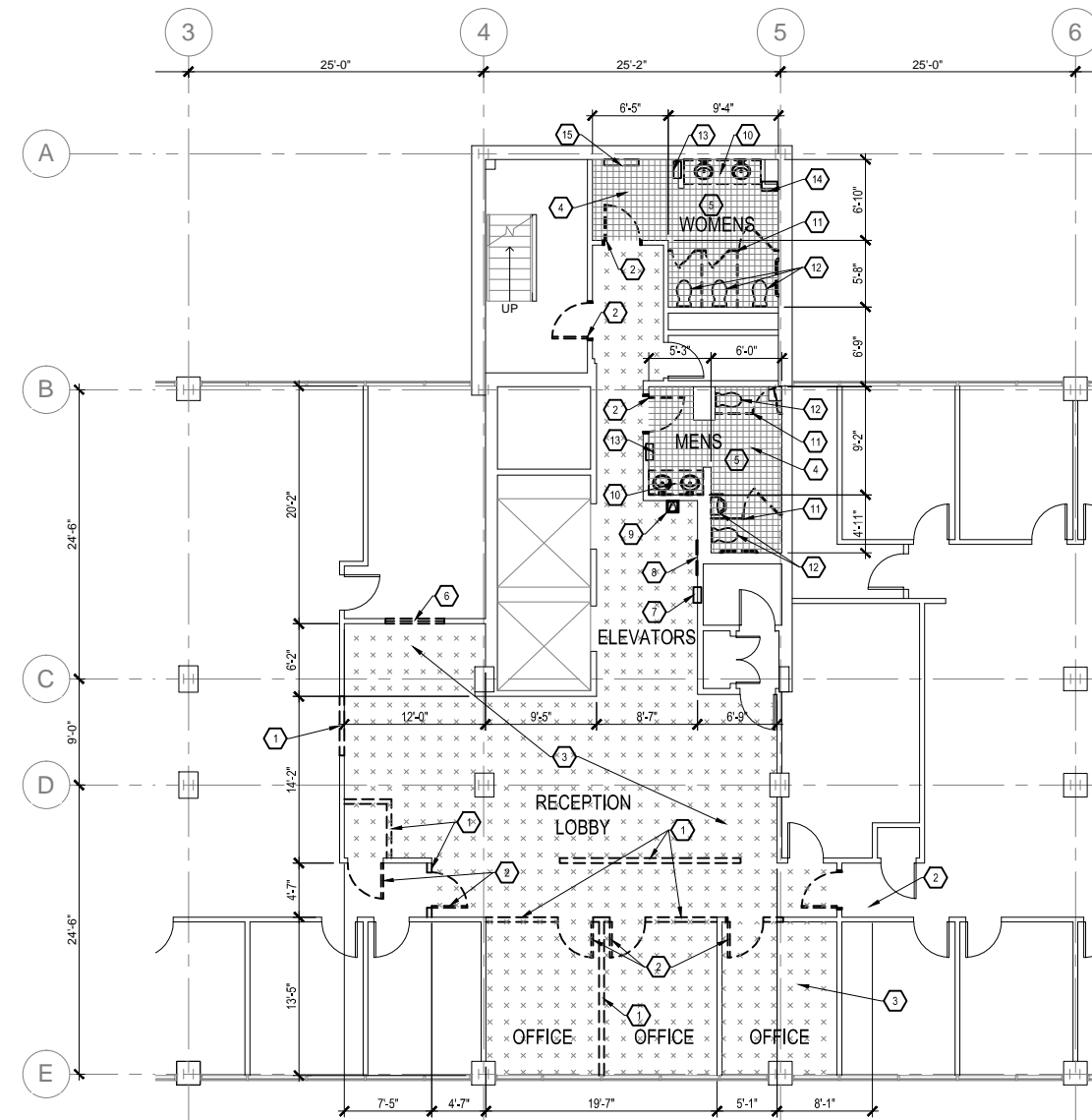
■ ■ ■ ■ REMOVE DIFFUSERS

▨ ▨ ▨ ▨ REMOVE & SALVAGE EXISTING SUSPENDED CEILING ASSEMBLY AS REQ'D TO PERFORM NEW WORK WALL TOP EXTENSION. REINSTALL ASSEMBLY AFTER COMPLETION OF NEW WORK

▬ ▬ ▬ ▬ PREP EXISTING WALL FOR TOP HEIGHT EXTENSION

**CEILING PLAN DEMOLITION NOTES:**

- ① REMOVE 24X48 R/A GRILLE & PREP FOR REINSTALLATION IN NEW CEILING GRID.
- ② REMOVE & PREP CEILING SUPPLY AIR SLOT DIFFUSER FOR REINSTALLATION IN NEW CEILING GRID.
- ③ DEMOLISH EXISTING FAN-POWERED VAV BOX THAT IS BLOWING PLENUM AIR INTO TOILET ROOMS & JANITOR CLOSET.
- ④ MODIFY EXHAUST AIR GRILLES IN TOILET ROOMS & JANITOR CLOSET FOR FULL-FACED EXHAUST. RELOCATE EXISTING GRILLE AS NECESSARY TO FIT INTO NEW CEILING GRID.

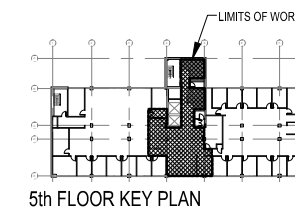


**1 FLOOR PLAN - DEMOLITION**  
A-101 SCALE: 1/8"=1'-0"

**FLOOR PLAN DEMOLITION NOTES:**

-EXISTING TO REMAIN UNLESS OTHERWISE NOTED-  
-PREP EXISTING SURFACES FOR NEW WORK-

- ① REMOVE WALL ENTIRELY
- ② REMOVE DOOR ASSEMBLY (DR, FRAME, HDWR)
- ③ REMOVE CARPETING & WALL BASE
- ④ REMOVE CERAMIC TILE FLOORING
- ⑤ REMOVE EXISTING CERAMIC WALL TILE & SUBSTRATE (ENTIRE ROOM) TO EXPOSE EXISTING STUDS TO REMAIN
- ⑥ REMOVE PASS-THROUGH WINDOW
- ⑦ REMOVE FEC - SALVAGE FOR REUSE
- ⑧ REMOVE WALL PLAQUE - HAND OVER TO OWNER
- ⑨ REMOVE DRINKING FOUNTAIN - PREP PLUMBING FOR NEW FIXTURE
- ⑩ REMOVE SINKS & COUNTER INCLUDING WALL MIRROR & SOAP DISPENSERS
- ⑪ REMOVE TOILET PARTITIONS & ACCESSORIES
- ⑫ REMOVE TOILET FIXTURES
- ⑬ REMOVE PTD/WR (RECESSED) - SALVAGE FOR REUSE
- ⑭ REMOVE SN DISPENSER - SALVAGE FOR REUSE
- ⑮ REMOVE CHANGING TABLE



5th FLOOR KEY PLAN



By	
Revision	
Date	



2515 'A' Street  
Anchorage, Alaska 99503  
(907) 276-4245  
544 4th Avenue,  
Suite 102  
Fairbanks, Alaska 99701  
(907) 452-2128  
3017 Clinton Drive  
Suite 201  
Juneau, Alaska 99801  
(907) 790-2901  
351 W. Parks Highway  
Suite 200  
Wasilla, Alaska 99654  
(907) 376-7815

Project:  
**CHIEF PETER JOHN TRIBAL BUILDING**

**5TH FLOOR LOBBY RENOVATION**

Project No. 01124 08278 002584  
TANANA CHIEFS CONFERENCE  
122 1ST AVENUE  
FAIRBANKS, AK 99701

Project Mgr.	VANDERWEELE
Drawn	maf
Checked	JC
Date	10/15/2015

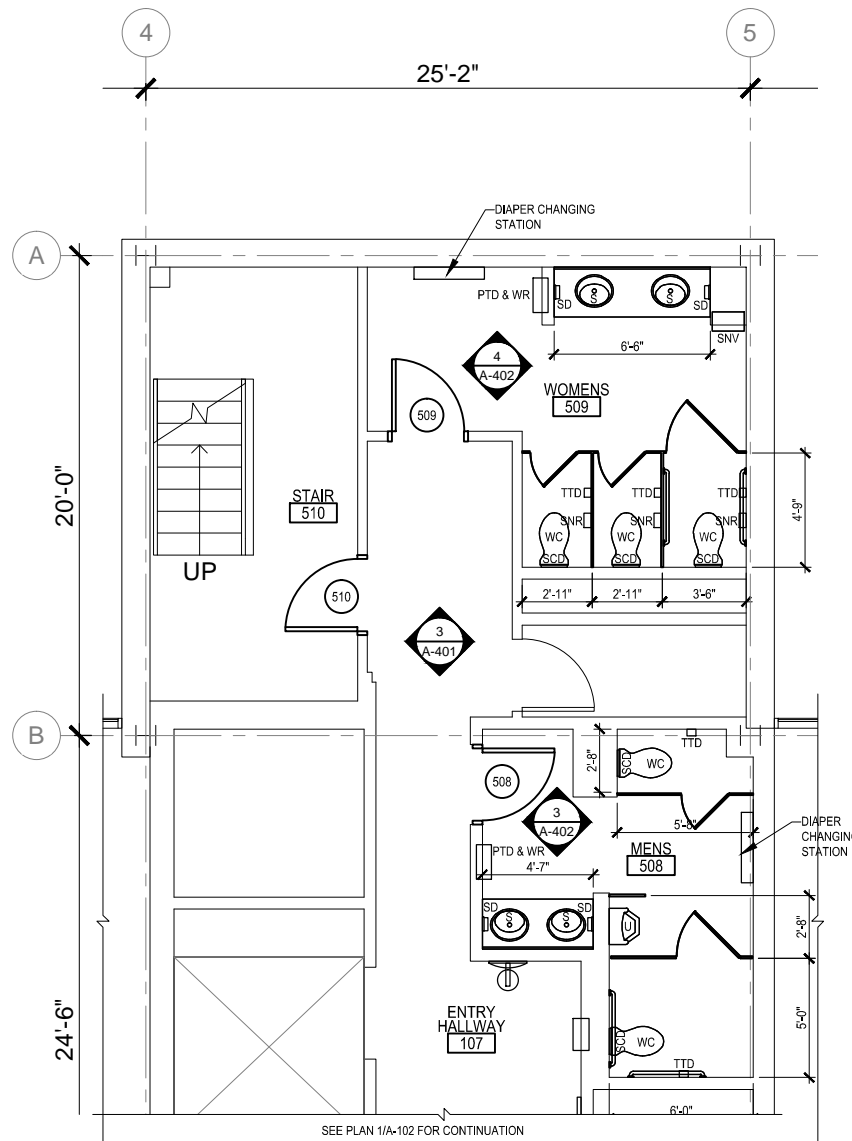
Sheet Contents:  
**DEMOLITION PLANS - FLOOR & CEILING**

Sheet No.:  
**A-101**

STANTEC W.O. 2046049200

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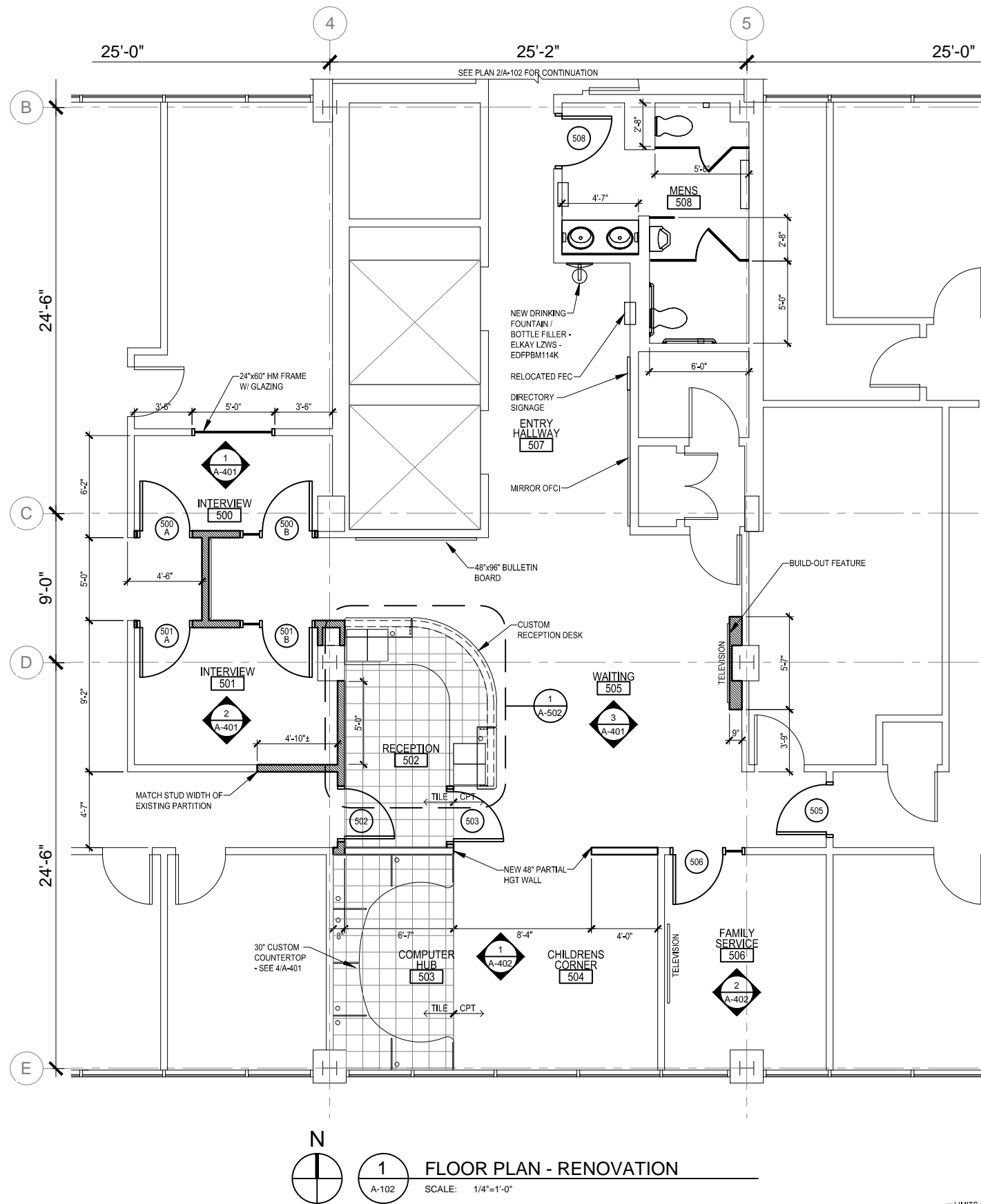
FILE: \\UST1309-F01\SHARED\_PROJECTS\2046049200\DRAWING\A-SHEETS\A-102.DWG PLOTTED: Oct 15, 2015 - 3:51:30 PM (Wellner, Annie)



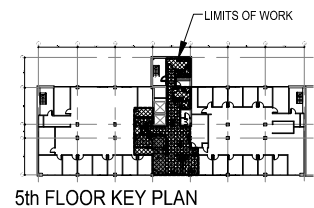
**2**  
A-102  
**RESTROOMS  
FLOOR PLAN - RENOVATION**  
SCALE: 1/4"=1'-0"

**FLOOR PLAN LEGEND**

- EXISTING PARTITION TO REMAIN. AS-BUILTS INDICATE STUDS ARE 2-1/2" METAL. SPACING ASSUMED @ 24" O.C. (FIELD VERIFY) W/ 5/8" GYPSUM BD EACH SIDE.
- NEW PARTITION. 4" METAL STUD @ 24" O.C. W/ 5/8" GYPSUM BD EA. SIDE. PROVIDE ACOUSTIC SEALANT AT WALL PERIMETER. NOTE - MATCH STUD WIDTH OF EXISTING WALL WHERE INDICATED.



**1**  
A-102  
**FLOOR PLAN - RENOVATION**  
SCALE: 1/4"=1'-0"



5th FLOOR KEY PLAN



By	
Revision	
Date	



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Project:  
**CHIEF PETER JOHN  
TRIBAL BUILDING**

**5TH FLOOR LOBBY  
RENOVATION**

Project No. 01124 08278 002584  
TANANA CHIEFS CONFERENCE  
122 1ST AVENUE  
FAIRBANKS, AK 99701

Project Mgr. VANDERWEELE

Drawn maf

Checked JC

Date 10/15/2015

Sheet Contents:  
**RENOVATION -  
FLOOR PLAN**

Sheet No.:

**A-102**

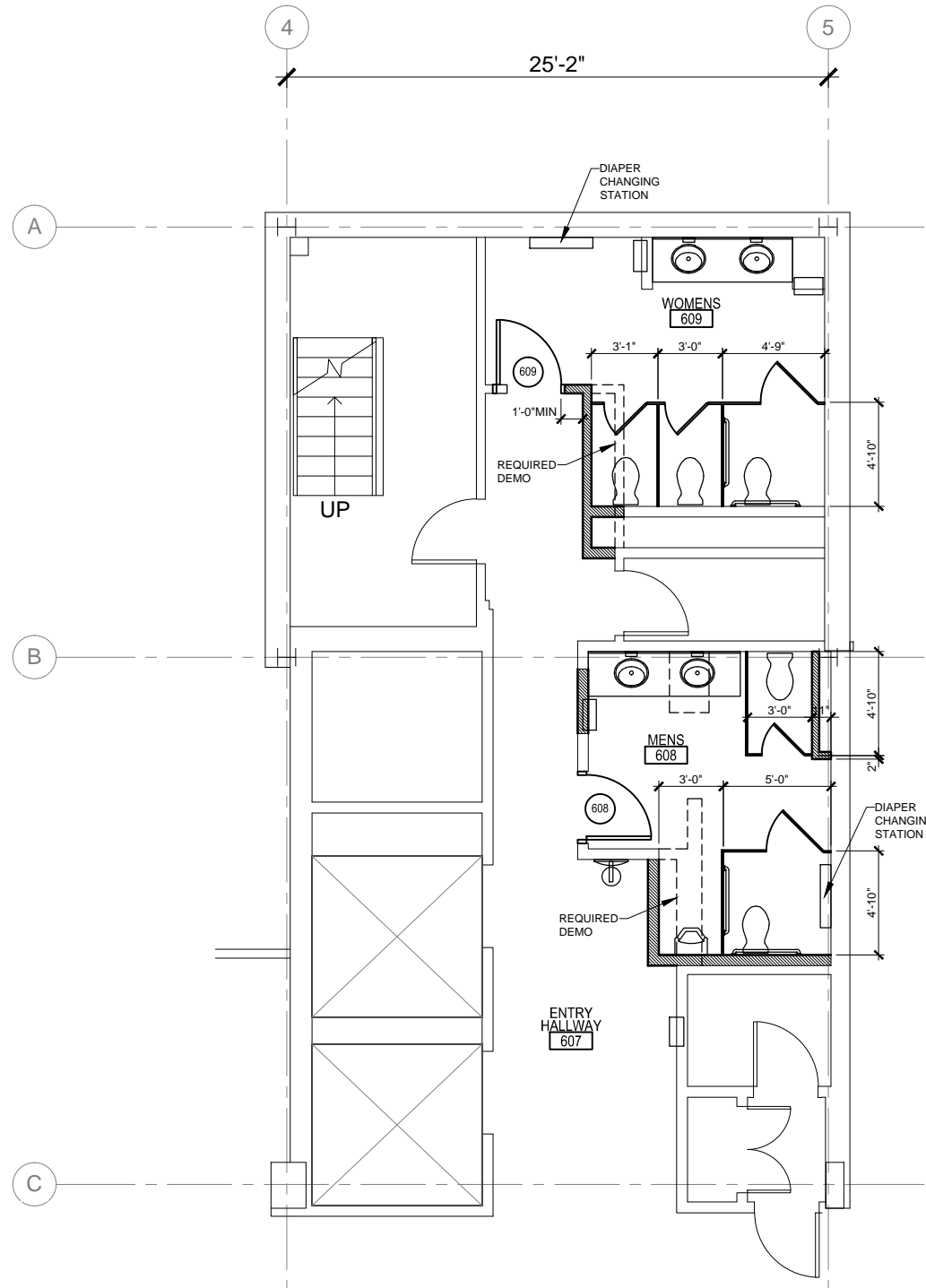
STANTEC W.O. 2046049200

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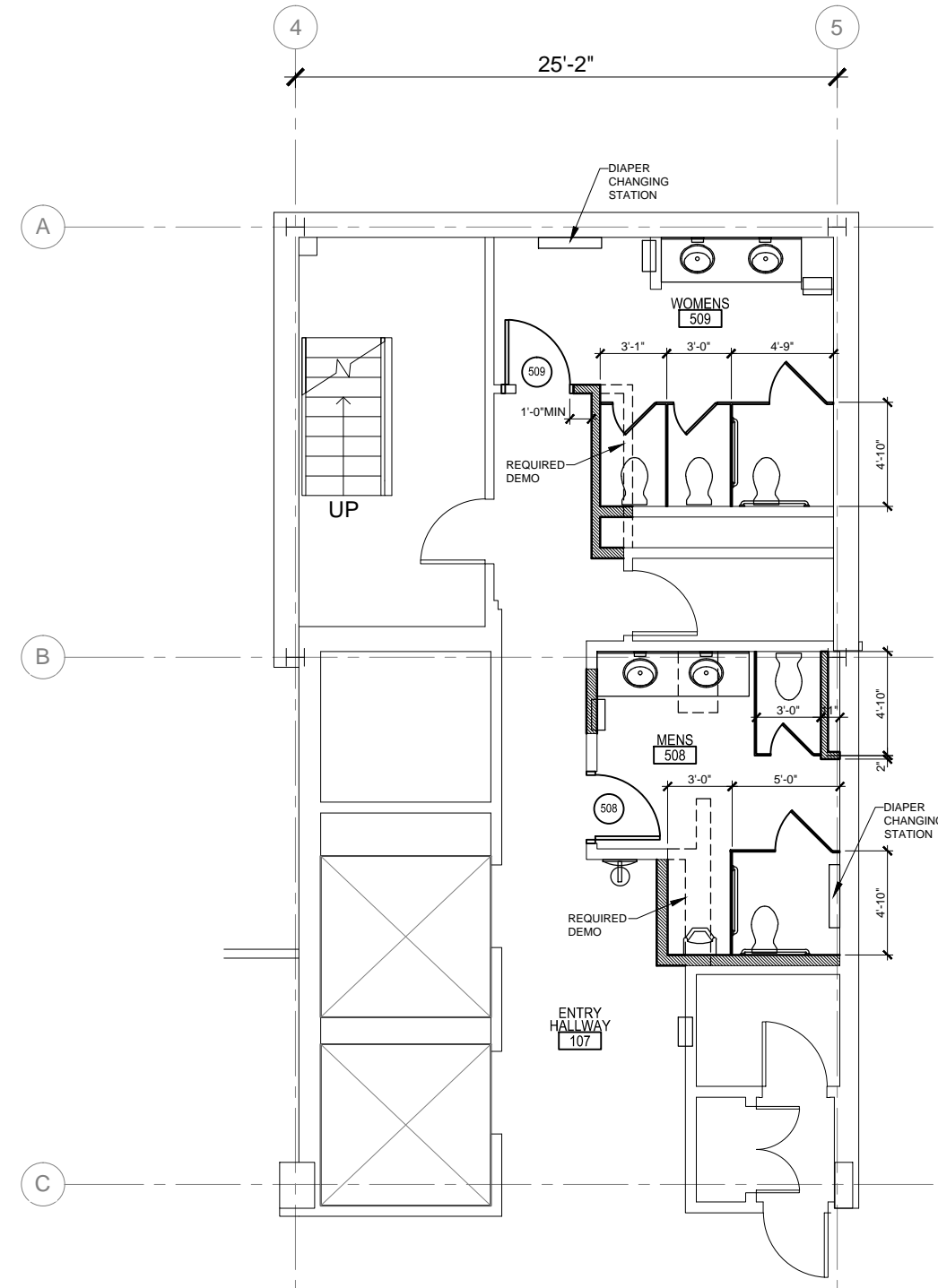




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2
**6TH FLOOR RESTROOMS - ALTERNATE BID #2**  
 A-104 SCALE: 1/4"=1'-0"




1
**5TH FLOOR RESTROOMS - ALTERNATE BID #1**  
 A-104 SCALE: 1/4"=1'-0"



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Sheet Contents:  
**ALTERNATE RESTROOM PLAN**

Sheet No.:  
**A-104**

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## MATERIAL FINISH LEGEND

ITEM	DESCRIPTION	MANUFACTURER	SERIES	COLOR/PATTERN	NOTES
ACT-1	SUSPENDED ACOUSTIC CEILING	ARMSTRONG	ULTIMA, VECTOR	#1920, WHITE, 2'x2'x15/16"	
C-1	NOT USED				
CPT-1	CARPET TILE	INTERFACE	HUMAN NATURE	HN 840, #104225, PUMICE	25 CM X 100 CM PLANK ASHLAR INSTALL SEE A-106
CPT-2	CARPET TILE	INTERFACE	HUMAN NATURE	HN 850, #104209, PUMICE	25 CM X 100 CM PLANK ASHLAR INSTALL SEE A-106
CPT-3	CARPET TILE	INTERFACE	HUMAN NATURE	HN 810, #104217, PUMICE	25 CM X 100 CM PLANK ASHLAR INSTALL SEE A-106
CPT-4	CARPET TILE	INTERFACE	HUMAN NATURE	HN 830, #104242, KIWI	25 CM X 100 CM PLANK ASHLAR INSTALL SEE A-106
CW-1	CASEWORK	FORMICA	LAMINATE	NATURAL BIRCH #7481-58	FRONT PANELS OF RECEPTION DESK
CW-2	CASEWORK	FORMICA	LAMINATE	GRAPHITE 3837-58	BASE COLOR OF RECEPTION DESK
DR-1	DOOR RELITES	3 FORM	RESIN PANEL	BEAR GRASS 50% FADE	
P-1	INTERIOR WALL PAINT	SHERWIN WILLIAMS	EGGSHEL/SATIN	KILIM BEIGE, SW 6106	
P-2	CEILING SOFFIT PAINT	SHERWIN WILLIAMS	EGGSHEL/SATIN	REFLECTING POOL, SW 6486	
P-3	INTERIOR ACCENT WALL PAINT	SHERWIN WILLIAMS	EGGSHEL/SATIN	GRAND CANAL, SW 6488	
P-4	HM DOOR FRAME PAINT	SHERWIN WILLIAMS	SEMI GLOSS	NOMADIC DESERT, SW 6107	
RB-1	RUBBER WALL BASE	ROPPE	PINNACLE, TYPE TS	#194, BURNT UMBER	4" BASE
SS-1	SOILD SURFACE COUNTERTOP	AVONITE	STUDIO COLLECTION	K3-8345, SILVER PEARL	RECEPTION COUNTER TOP
SS-2	SOILD SURFACE COUNTERTOP	AVONITE	STUDIO COLLECTION	K3-8343, PEARL	
RS-1	ROLLER SHADES	MECHOSYSTEM	MECHO/S WIDE BRACKET W/ FASCIA	THERMOVEIL SHADE, BASKET WEAVE, 1300 SERIES	ARCHITECT TO SELECT COLOR
T-1	FLOOR TILE	DAL TILE	FABRIQUE	GRIS LINEN, P690	UN POLISHED 12X12
T-2	WALL TILE	DAL TILE	FABRIQUE	CREME LINEN, P686	LIGHT POLISHED 12X24, 48" HIGH WAINSCOT
T-3	WALL TILE - BULL NOSE	DAL TILE	FABRIQUE	CREME LINEN, S-43C9	LIGHT POLISHED 3X12 ON TOP OF WAINSCOT
TP	TOILET PARTITIONS	ASI GLOBAL PARTITIONS	STAINLESS STEEL	LEATHER FINISH	

## ROOM FINISH SCHEDULE

ROOM #	ROOM NAME	FLOOR	BASE	NORTH WALL	EAST WALL	SOUTH	WEST WALL	DOOR FRAME	CEILING FINISH	MILLWORK	COMMENTS
500	INTERVIEW	CPT-3	RB-1	P-1	P-1	P-1	P-1	P-4	ACT-1		
501	INTERVIEW	CPT-3	RB-1	P-1	P-1	P-1	P-1	P-4	ACT-1		
502	RECEPTION	T-1	RB-1	P-1	-	P-1	P-3	P-4	P-2 / ACT-1	SS-1 COUNTER TOP / CW-2 BASE W/ CW-1 ACCENT PANELS	
503	COMPUTER HUB	T-1	RB-1	P-1	-	P-1	P-1	P-4	ACT-1	SS-1 COUNTER TOP & BACKSPLASH	RS-1
504	CHILDREN'S CORNER	CPT-4	RB-1	P-1	P-1	P-1	-	P-4	P-2 / ACT-1		GWB SOFFIT CEILING TO BE PAINTED P-2, RS-1
505	WAITING	CPT-1 / CPT-2 / CPT-3	RB-1	P-1	P-1 / ST-1/P-3	P-1	P-1/P-3	P-4	ACT-1		BASE OF STONE VENEER TO BE RB-2. WALL BEHIND 502 TO BE PAINTED P-3.
506	FAMILY SERVICES	CPT-3	RB-1	P-1	P-1	P-1	P-1	P-4	ACT-1		RS-1
507	ENTRY	CPT-1 / CPT-2	RB-1	P-1	P-1	-	P-1	P-4	ACT-1		
508	MEN'S RESTROOM	T-1	T-2	T-2 / T-3 / P-1	T-2 / T-3 / P-1	T-2 / T-3 / P-1	T-2 / T-3 / P-1	P-4	P-1	SS-2 COUNTER TOP & BACKSPLASH	PROVIDE NEW TOILET PARTITIONS
509	WOMEN'S RESTROOM	T-1	T-2	T-2 / T-3 / P-1	T-2 / T-3 / P-1	T-2 / T-3 / P-1	T-2 / T-3 / P-1	P-4	P-1	SS-2 COUNTER TOP & BACKSPLASH	PROVIDE NEW TOILET PARTITIONS

### GENERAL NOTES:

MEN'S & WOMEN'S RESTROOMS TO EACH RECEIVE KOALA KARE, BABY CHANGING STATION, HORIZONTAL STAINLESS STEEL WALL MOUNTED, MODEL # KB-110-SSWM

INTERIOR ROOM SIGNAGE TO BE APCO, ELEMENTS 2, ARC-AR1, L02 COASTAL GRASS

## ROOM SIGN SCHEDULE

ROOM #	ROOM NAME	APCO, ELEMENTS 2, ARC-AR1, L02 COASTAL GRASS	NOTES
500	INTERVIEW	-	PROVIDE BRAILLE
501	INTERVIEW	-	PROVIDE BRAILLE
506	FAMILY SERVICES	-	PROVIDE BRAILLE
508	MEN	-	6" VERTICAL PICTORGRAM W/ ROOM NAME & BRAILLE BELOW
509	WOMEN	-	6" VERTICAL PICTORGRAM W/ ROOM NAME & BRAILLE BELOW



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Sheet Contents:  
**ROOM FINISH SCHEDULE - MATERIAL FINISH LEGEND**

Sheet No.:






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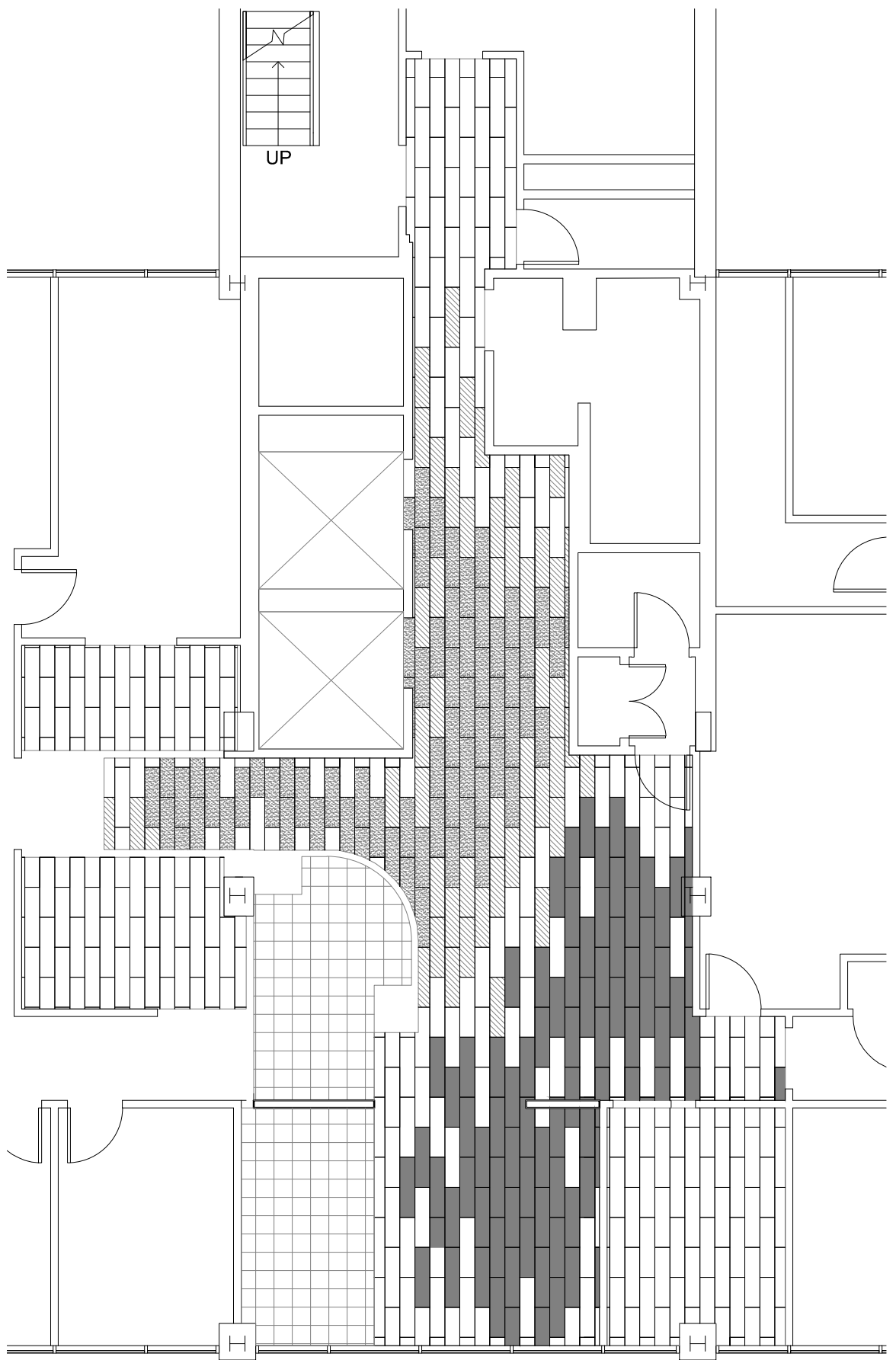
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**FLOORING KEY PLAN**  
 CUSTOM DESIGN LAYOUT PLANK ASHLAR INSTALL  
 SEE FINISH SCHEDULE ON A-105 FOR CARPET INFORMATION

-  CPT-1
-  CPT-2
-  CPT-3
-  CPT-4
-  T-1



**1 FLOORING PATTERN**  
 A-106 SCALE: 1/4"=1'-0"



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**FLOORING  
 PATTERN**

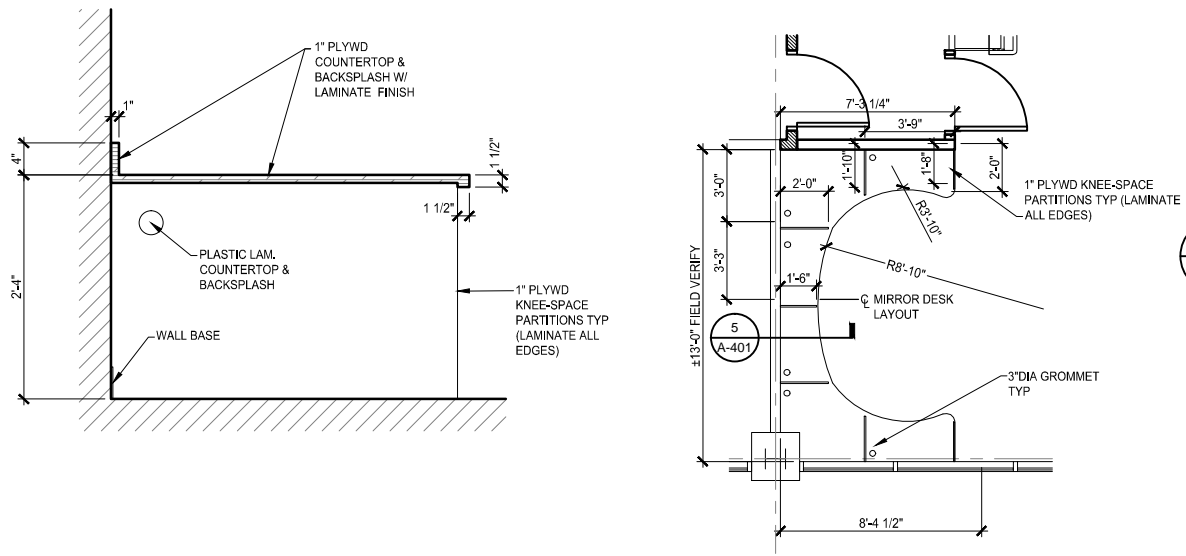
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**A-106**

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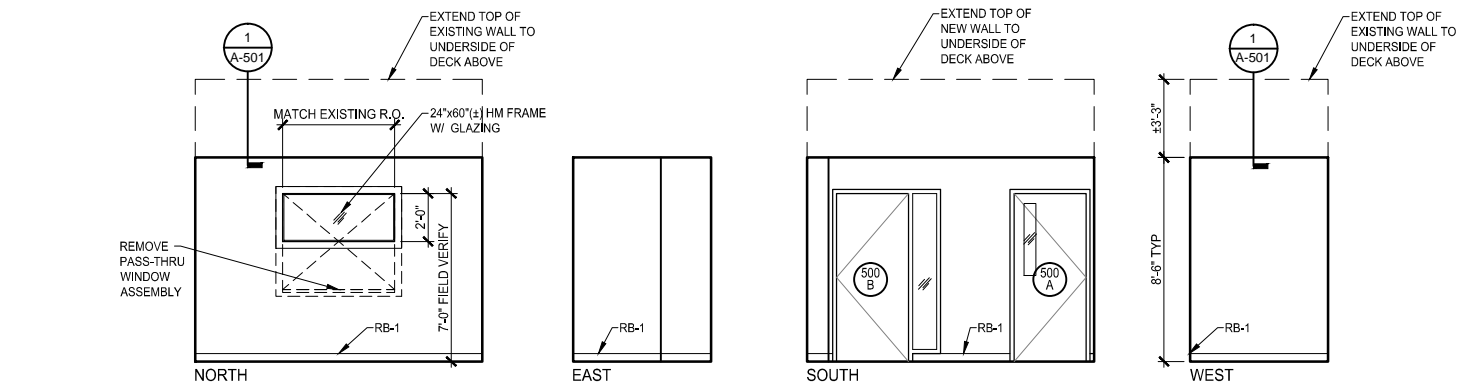


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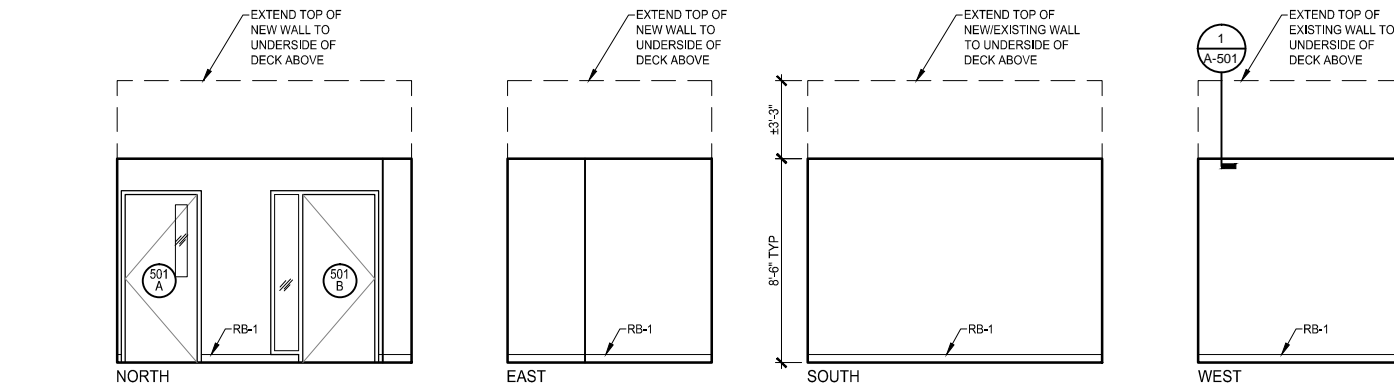


**5 COUNTER DETAIL**  
A-401 SCALE: 1/4"=1'-0"

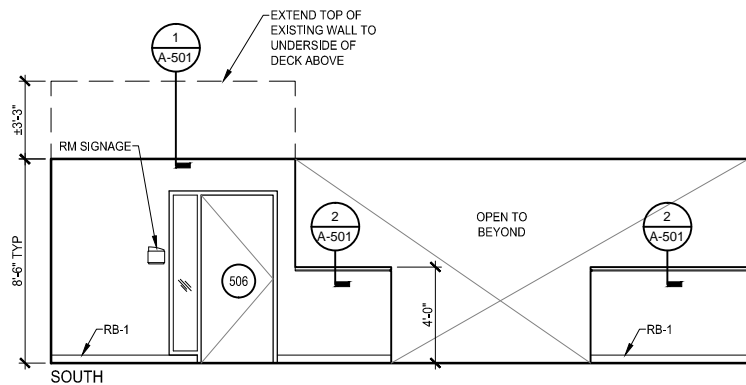
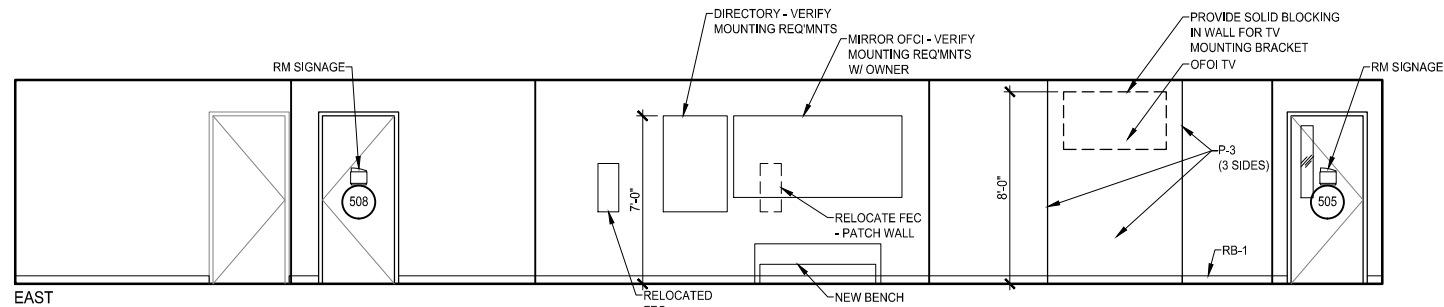
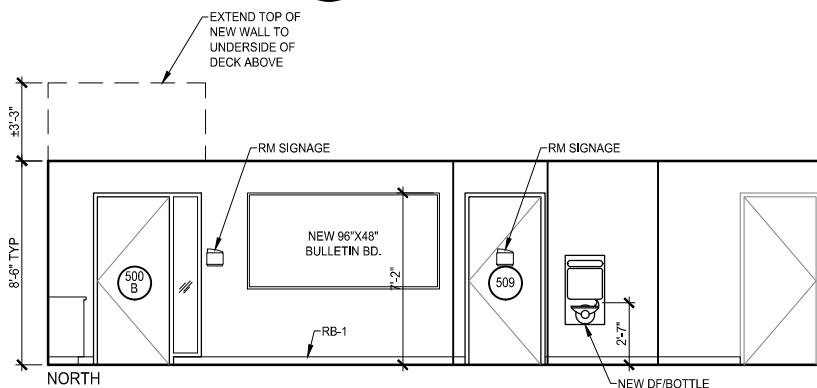
**4 COUNTER PLAN**  
A-401 SCALE: 1/4"=1'-0"



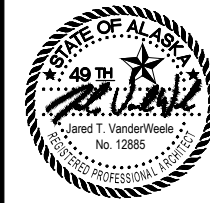
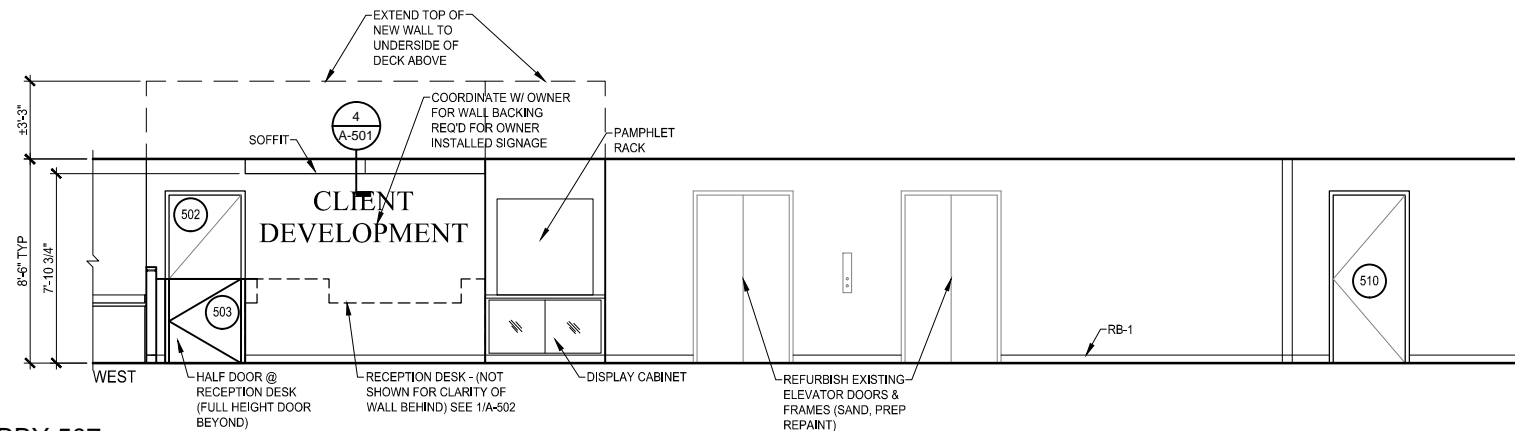
**1 ELEVATIONS - INTERVIEW 500**  
A-401 SCALE: 1/4"=1'-0"



**2 ELEVATIONS - INTERVIEW 501**  
A-401 SCALE: 1/4"=1'-0"



**3 ELEVATIONS - RECEPTION 502 / WAITING 505 / ENTRY LOBBY 507**  
A-401 SCALE: 1/4"=1'-0"



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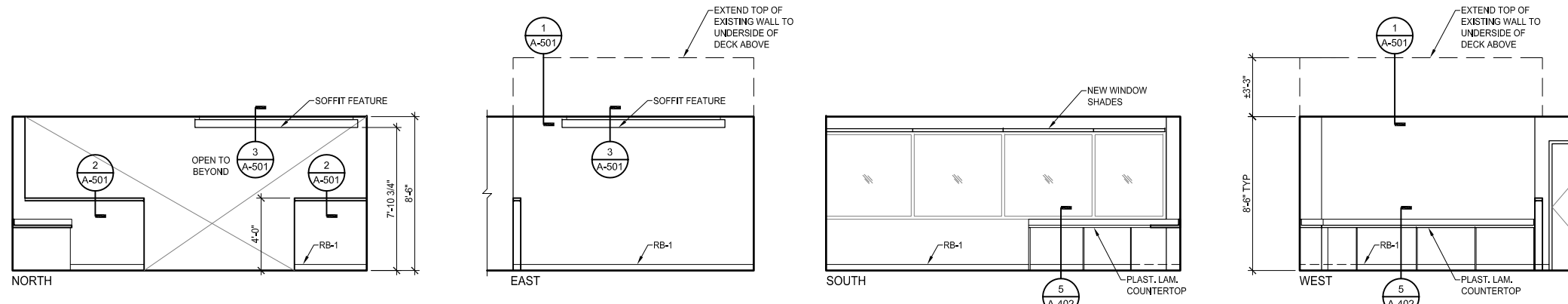
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Sheet Contents:  
**INTERIOR  
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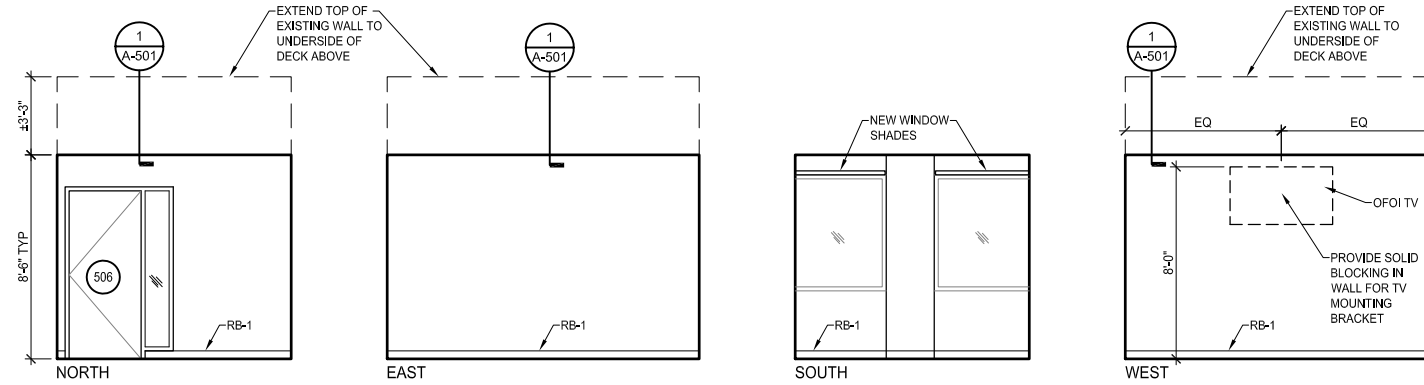
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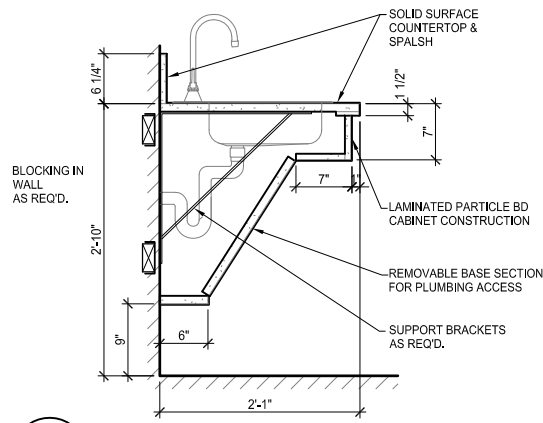
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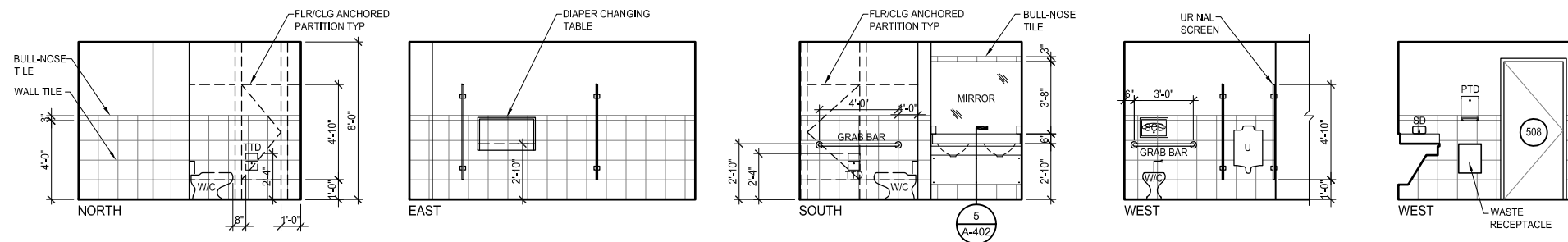
**1** ELEVATIONS - COMPUTER HUB 503 / CHILDRENS CORNER 504  
A-402 SCALE: 1/4"=1'-0"



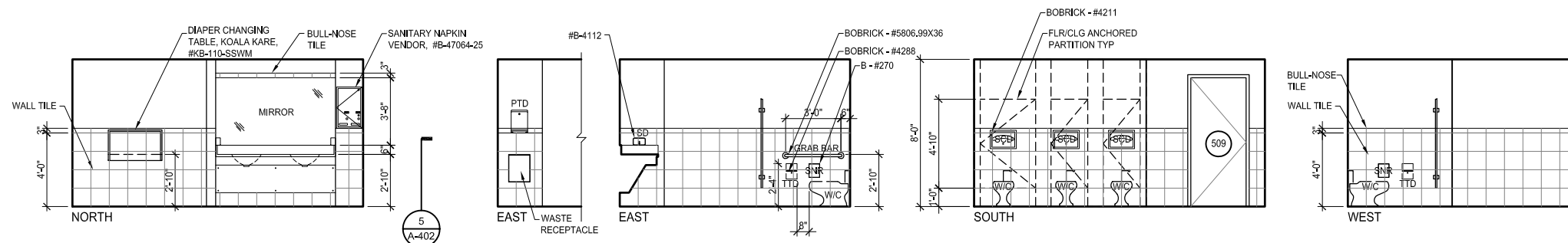
**2** ELEVATIONS - FAMILY SERVICE 506  
A-402 SCALE: 1/4"=1'-0"



**5** ACCESSIBLE SINK COUNTER  
A-402 SCALE: 1"=1'-0"



**3** ELEVATIONS - MENS 508  
A-402 SCALE: 1/4"=1'-0"



**4** ELEVATIONS - WOMENS 509  
A-402 SCALE: 1/4"=1'-0"



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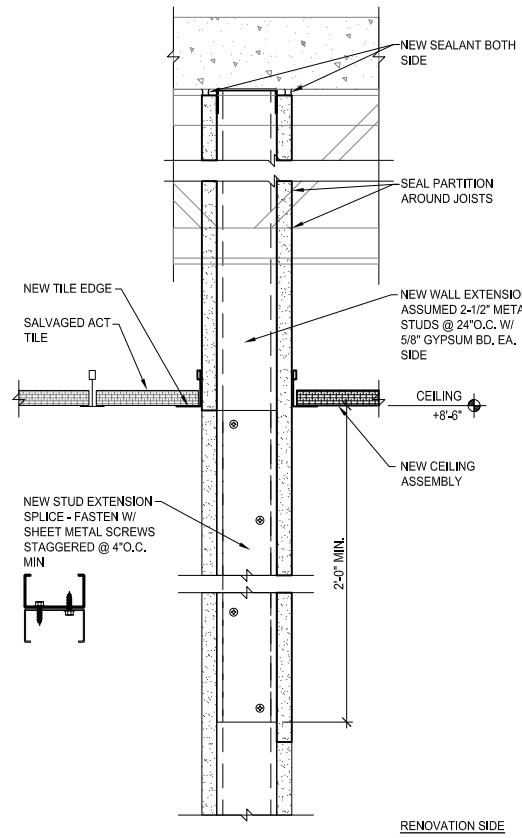
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**INTERIOR  
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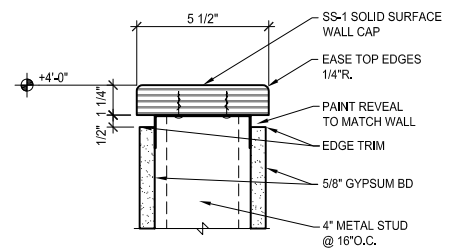
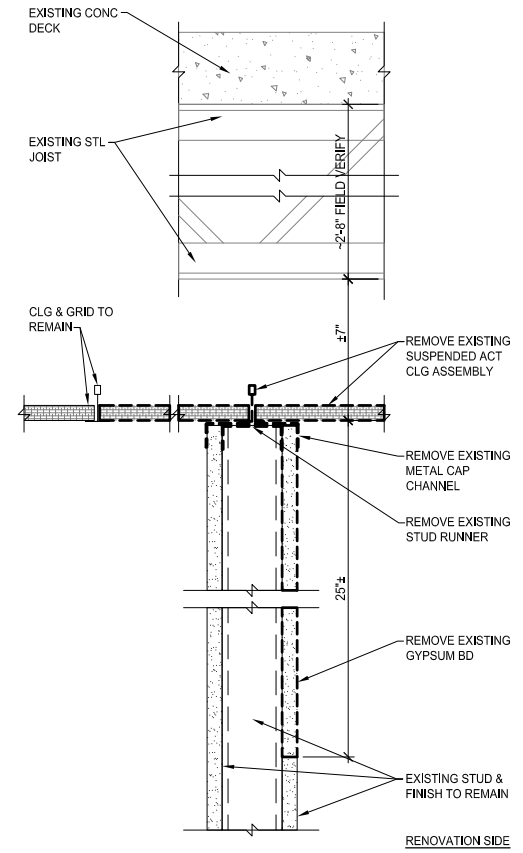
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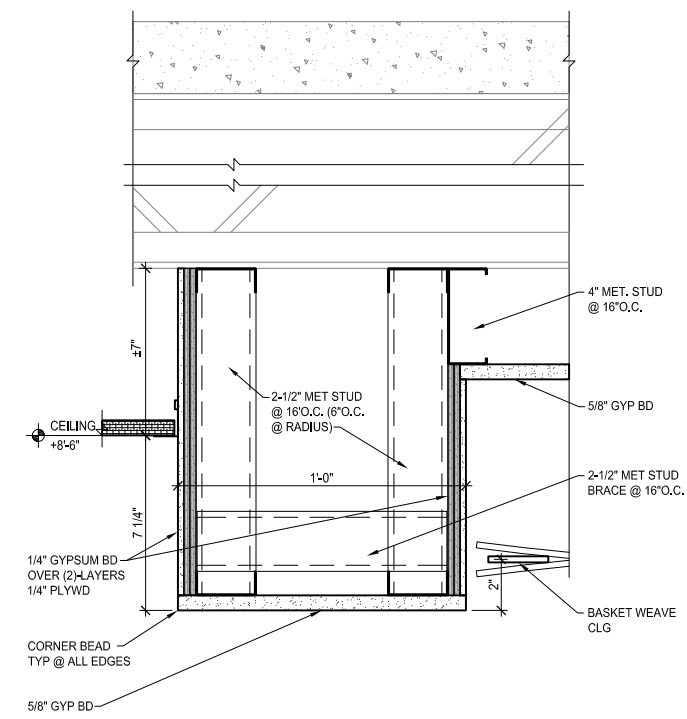


**1** WALL EXTENSION DETAIL  
A-501 SCALE: 3"=1'-0"



**2** WALL CAP DETAIL  
A-501 SCALE: 3"=1'-0"

**3** NOT USED  
A-501 SCALE: 3"=1'-0"



**4** SOFFIT DETAIL  
A-501 SCALE: 3"=1'-0"



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**DETAILS**

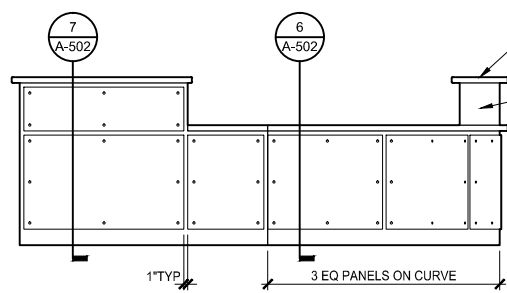
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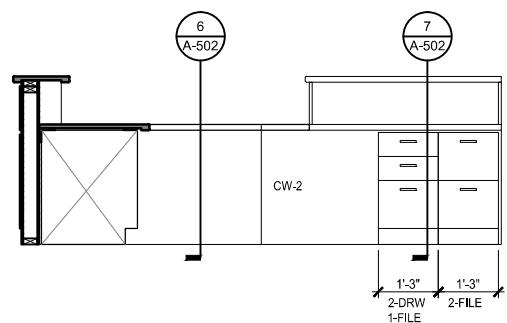
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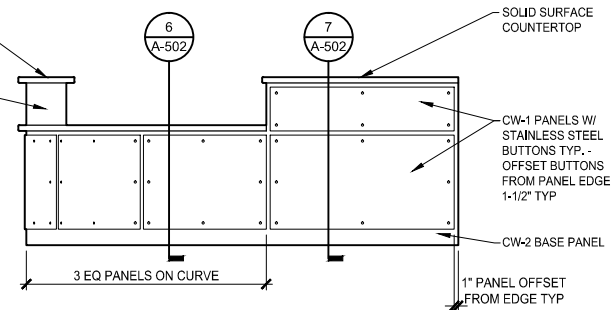
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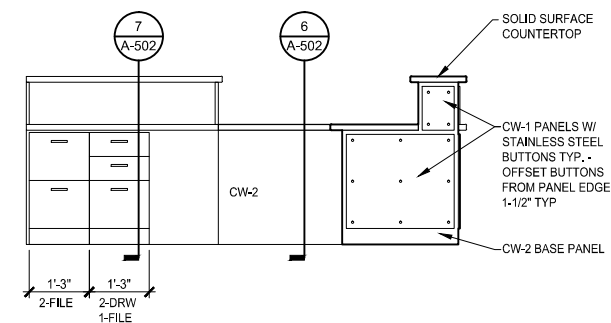
**3** DESK ELEVATION  
A-502 SCALE: 1/2"=1'-0"



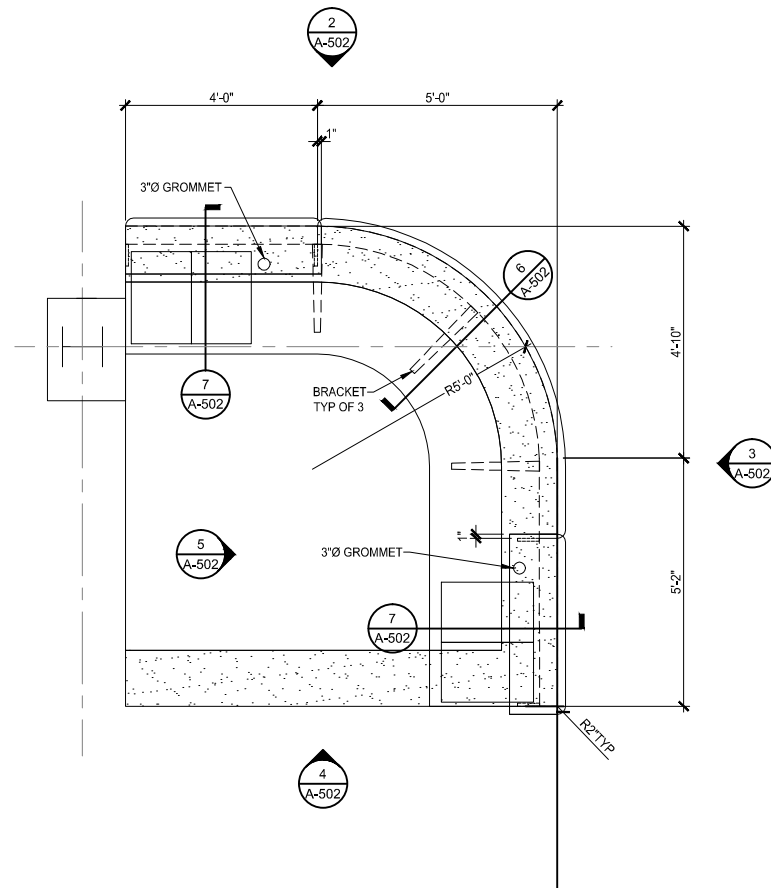
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A-502 SCALE: 1/2"=1'-0"



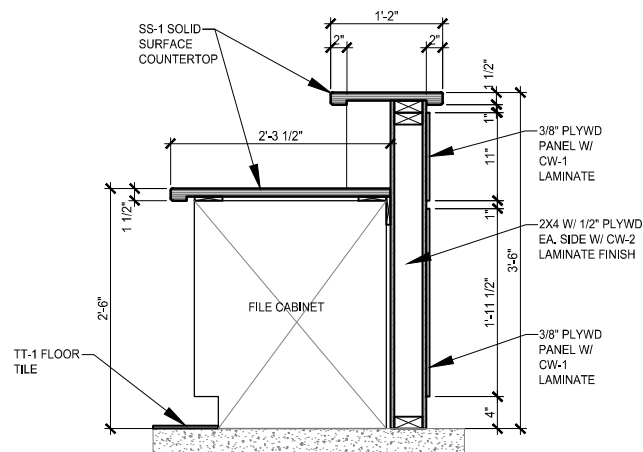
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A-502 SCALE: 1/2"=1'-0"



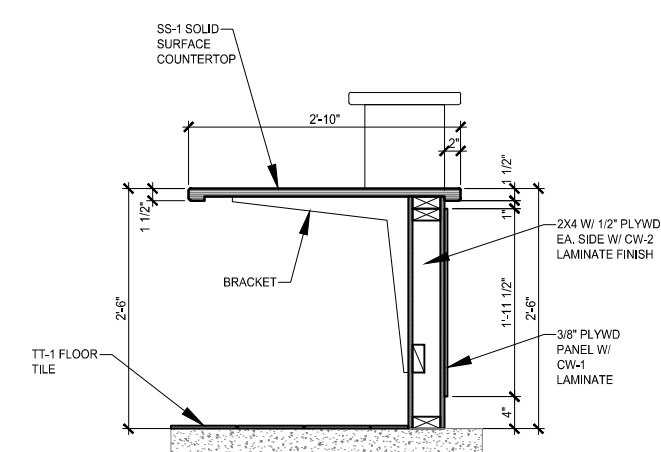
**4** DESK ELEVATION  
A-502 SCALE: 1/2"=1'-0"



**1** RECEPTION DESK ENLARGED PLAN  
A-502 SCALE: 1/2"=1'-0"



**7** DESK SECTION  
A-502 SCALE: 1"=1'-0"



**6** DESK SECTION  
A-502 SCALE: 1"=1'-0"



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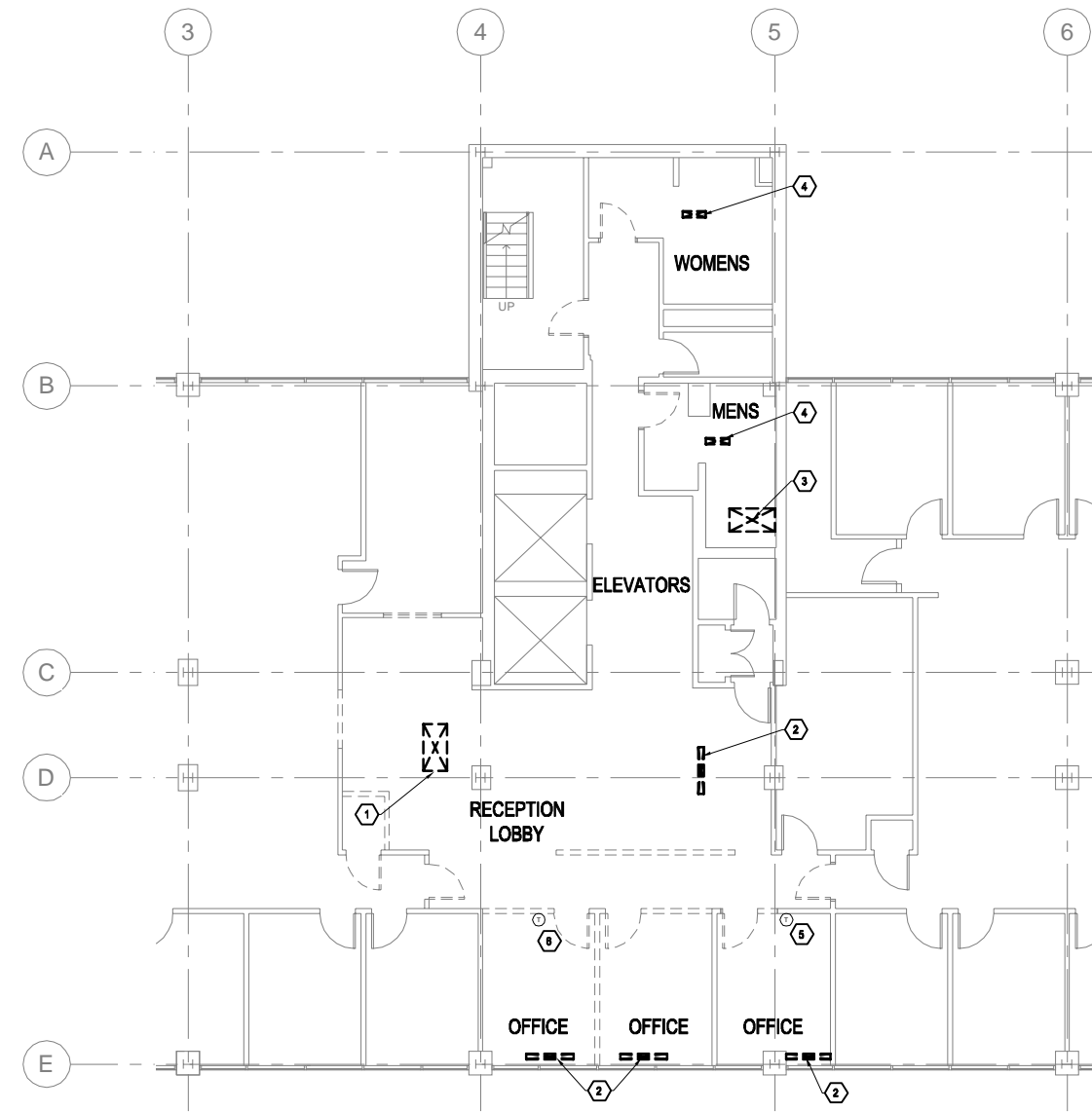
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DESK DETAILS**

Sheet No.:  
**A-502**

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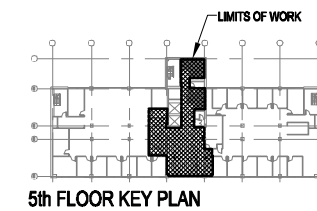
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**1** PLAN - DEMOLITION  
 M-101 SCALE: 1/8"=1'-0"

**DEMOLITION NOTES:**

- ① REMOVE 24X48 R/A GRILLE & CLEANED FOR REINSTALLATION IN NEW CEILING GRID.
- ② REMOVE & CLEAN CEILING SUPPLY AIR SLOT DIFFUSER FOR REINSTALLATION IN NEW CEILING GRID.
- ③ DEMOLISH EXISTING FAN-POWERED VAV BOX AND DUCTWORK THAT IS BLOWING PLENUM AIR INTO TOILET ROOMS & JANITOR CLOSET.
- ④ MODIFY EXHAUST AIR GRILLES IN TOILET ROOMS & JANITOR CLOSET FOR FULL-FACED EXHAUST. RELOCATE EXISTING GRILLE AS NECESSARY TO FIT INTO NEW CEILING PER NEW CONSTRUCTION PLANS.
- ⑤ EXISTING ROOM SENSOR TO REMAIN.
- ⑥ EXISTING ROOM SENSOR SHALL BE RELOCATED TO NEAREST, NON-EXTERIOR WALL THAT IS TO REMAIN.



49TH  
 JASON E. THOMA  
 ME-10833  
 REGISTERED PROFESSIONAL ENGINEER

By		
Revision		
Date		

2515 'A' Street  
 Anchorage, Alaska 99503  
 (907) 276-4245  
 544 4th Avenue,  
 Suite 102  
 Fairbanks, Alaska 99701  
 (907) 452-2128  
 3017 Clinton Drive  
 Suite 201  
 Juneau, Alaska 99801  
 (907) 790-2901  
 351 W. Parks Highway  
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Project:  
**CHIEF PETER JOHN TRIBAL BUILDING**

**5TH FLOOR LOBBY RENOVATION**

Project No. 01124 08278 002584  
 TANANA CHIEFS CONFERENCE  
 122 1ST AVENUE  
 FAIRBANKS, AK 99701

Project Mgr.	VANDERWEELE	
Drawn	maf	JET
Checked	JC	
Date	10/15/2015	

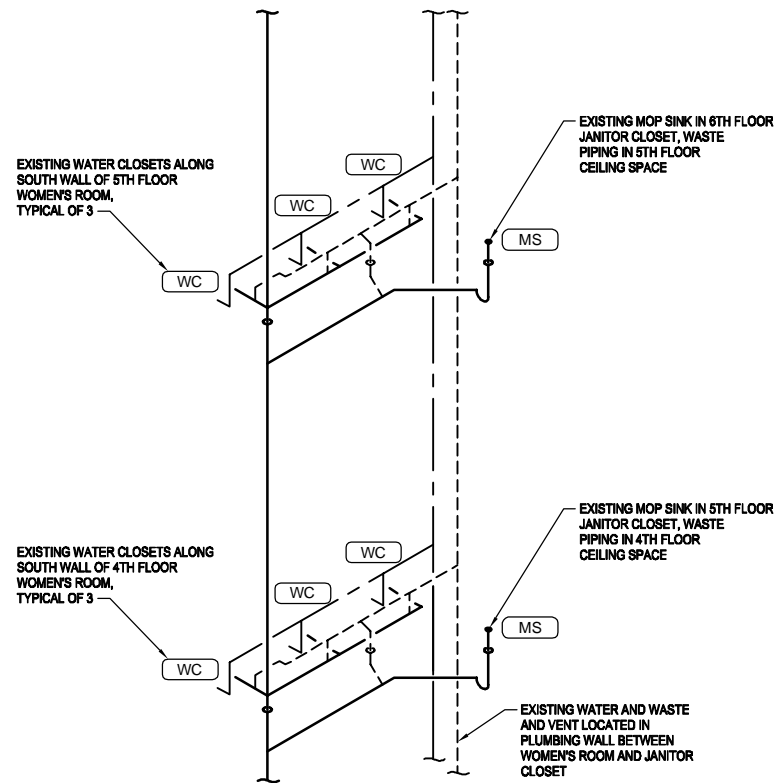
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**DEMOLITION PLANS - FLOOR & CEILING**

Sheet No.:  
M-101

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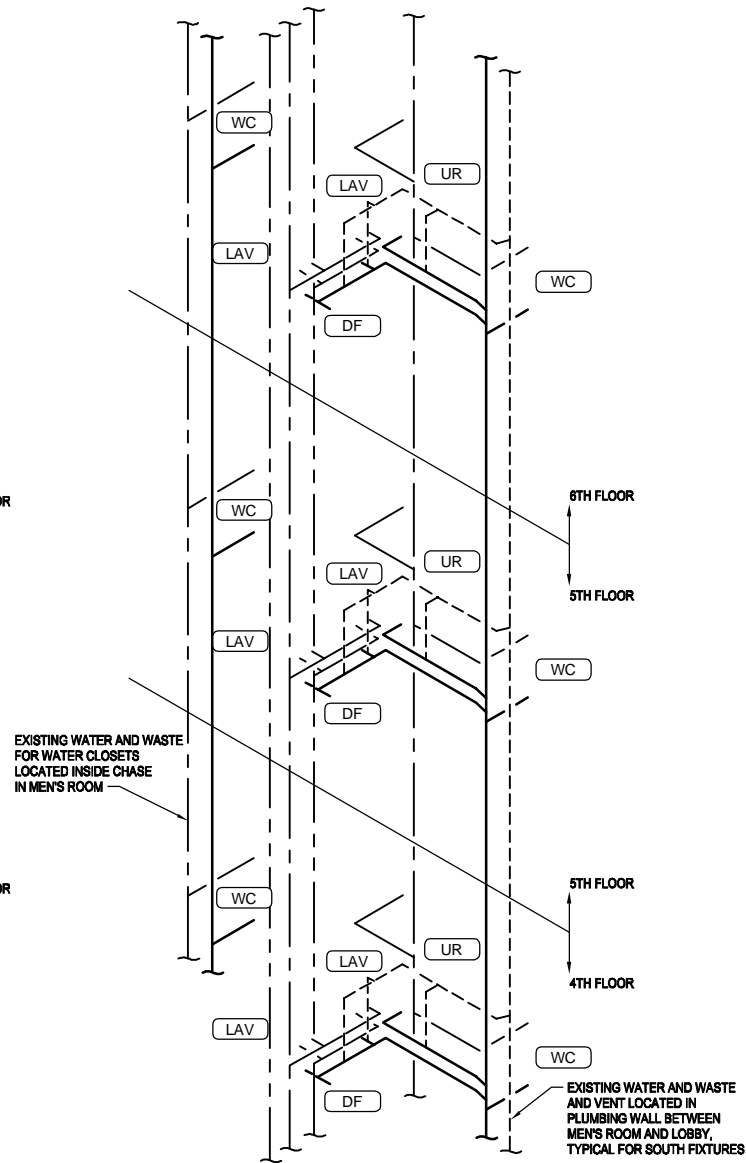
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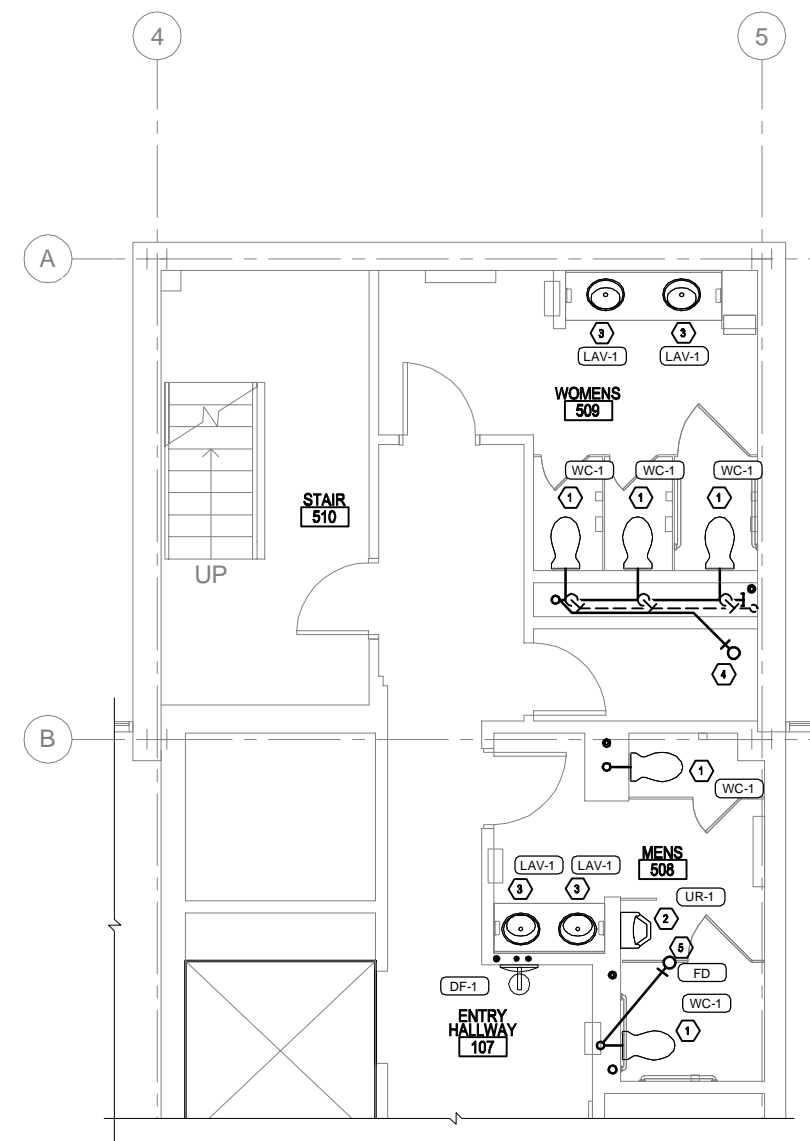
NOTE: RISERS SHOWN FOR TO INFORM CONTRACTOR OF GENERAL EXISTING PIPING ARRANGEMENT. MINOR MODIFICATIONS SHALL BE NECESSARY FOR NEW FIXTURE INSTALLATION, HOWEVER PIPING SHALL REMAIN IN THIS GENERAL CONFIGURATION.

**3** WOMEN'S ROOM EXISTING PLUMBING RISER  
M-102 SCALE: NONE



NOTE: RISERS SHOWN FOR TO INFORM CONTRACTOR OF GENERAL EXISTING PIPING ARRANGEMENT. MINOR MODIFICATIONS SHALL BE NECESSARY FOR NEW FIXTURE INSTALLATION, HOWEVER PIPING SHALL REMAIN IN THIS GENERAL CONFIGURATION.

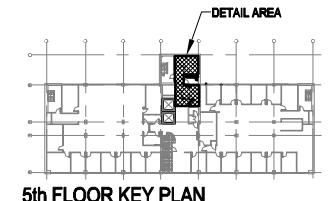
**2** MEN'S ROOM EXISTING PLUMBING RISER  
M-102 SCALE: NONE



**1** FIFTH FLOOR - PARTIAL PLAN - RENOVATION  
M-102 SCALE: 1/4"=1'-0"

**FLOOR PLAN NEW WORK NOTES:**

- ① INSTALL NEW WATER CLOSET, CONNECT TO EXISTING WASTE AND VENT PIPING.
- ② INSTALL NEW URINAL, CONNECT TO EXISTING WASTE AND VENT PIPING.
- ③ INSTALL NEW LAVATORY, CONNECT TO EXISTING WASTE AND VENT PIPING.
- ④ UP TO EXISTING MOP SINK IN 6TH FLOOR JANITOR CLOSET, MAINTAIN AS-IS.
- ⑤ WASTE FROM EXISTING FLOOR DRAIN IN 6TH FLOOR MEN'S ROOM, MAINTAIN AS-IS.

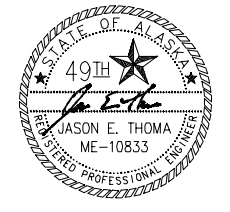


5th FLOOR KEY PLAN

**PLUMBING FIXTURE CONNECTION SCHEDULE**

TAG	FIXTURE	MOUNTING	TRAP (IN)	WASTE (IN)	VENT (IN)	CW (IN)	FIXTURE - DESIGN BASIS PRODUCT			FAUCET/VALVE - DESIGN BASIS PRODUCT		NOTES	TAG
							MFR.	MODEL	MATERIAL	MFR.	MODEL		
WC-1	ADA WATER CLOSET	WALL	-	4	2	1/2	AMER. STD.	3351001	VITREOUS CHINA	SLOAN	OPTIMA 111-1.28	1.28 GPF, ELONGATED BOWL, ADA HEIGHT, EVERCLEAN SURFACE, PROVIDE WITH SEAT, BASIS OF DESIGN IS AMERICAN STANDARD 5905110.	
WC-2	ADA WATER CLOSET	FLOOR	-	4	2	1/2	AMER. STD.	3462001	VITREOUS CHINA	SLOAN	OPTIMA 111-1.28	1.28 GPF, ELONGATED BOWL, ADA HEIGHT, EVERCLEAN SURFACE, PROVIDE WITH SEAT, BASIS OF DESIGN IS AMERICAN STANDARD 5905110.	WC-2
UR-1	URINAL	WALL	-	2	1 1/2	1	AMER. STD.	6042.005	VITREOUS CHINA	SLOAN	G2 OPTIMA PLUS	0.5 GPF, TOP SPUD, EVERCLEAN SURFACE. FLUSH VALVE: SLOAN G2 OPTIMA PLUS, 0.5 GPF, EXPOSED, CHROME PLATED, BATTERY POWERED, SENSOR OPERATED, OVERRIDE BUTTON.	UR-1
LAV-1	LAVATORY	COUNTER	1 1/4	1 1/4	1 1/4	1/2	AMER. STD.	9484001	VITREOUS CHINA	SLOAN	SF-2150-4	DROP-IN SINK, ADA COMPLIANT, P-TRAP, STOPS AND SUPPLIES, SHIELDING GUARDS. 0.5 GPM AUTOMATIC FAUCET, BATTERY OPERATED, BELOW DECK THERMOSTATIC MIXING VALVE, ADJUST TO PROVIDE 105°F WATER TO FAUCET.	LAV-1
DF-1	DRINKING FOUNTAIN	WALL	1 1/4	1 1/4	1 1/4	3/8	ELKAY	LZWS-EDFPBM114K	STAINLESS STEEL	-	-	FULLY ASSEMBLED ONE-LEVEL DRINKING FOUNTAIN, INSTALL AT ADA HEIGHT, FLEXI-GUARD SAFETY BUBBLER, FRONT PUSH BUTTON, STAINLESS STEEL BACK PANEL, SURFACE MOUNTING PLATE, PROVIDE ACCESS PANEL FOR ACCESS TO TRAPS AND WATER SUPPLY SHUT-OFF.	DF-1

GENERAL NOTE: ALL PLUMBING FIXTURES USED TO CONVEY POTABLE WATER THAT COULD BE USED FOR HUMAN CONSUMPTION SHALL BE LEAD-FREE IN ACCORDANCE WITH THE FEDERAL REDUCTION OF LEAD IN DRINKING WATER ACT.



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Anchorage, Alaska 99503  
(907) 276-4245  
544 4th Avenue,  
Suite 102  
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(907) 452-2128  
3017 Clinton Drive  
Suite 201  
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Project No. 01124 08278 002584  
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Checked	JC
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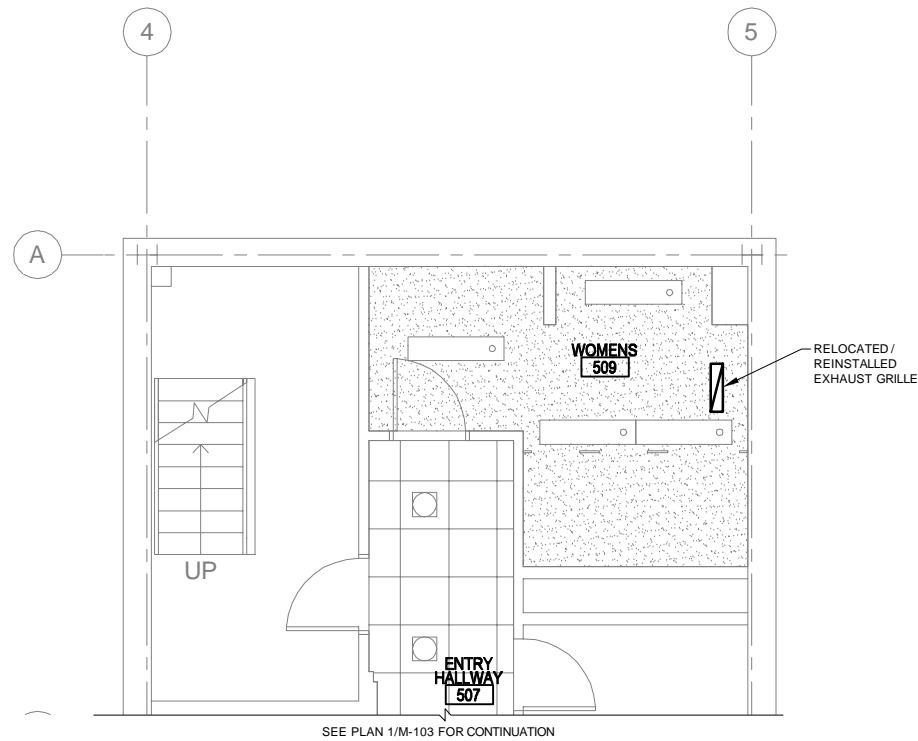
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Sheet No.:  
**M-102**

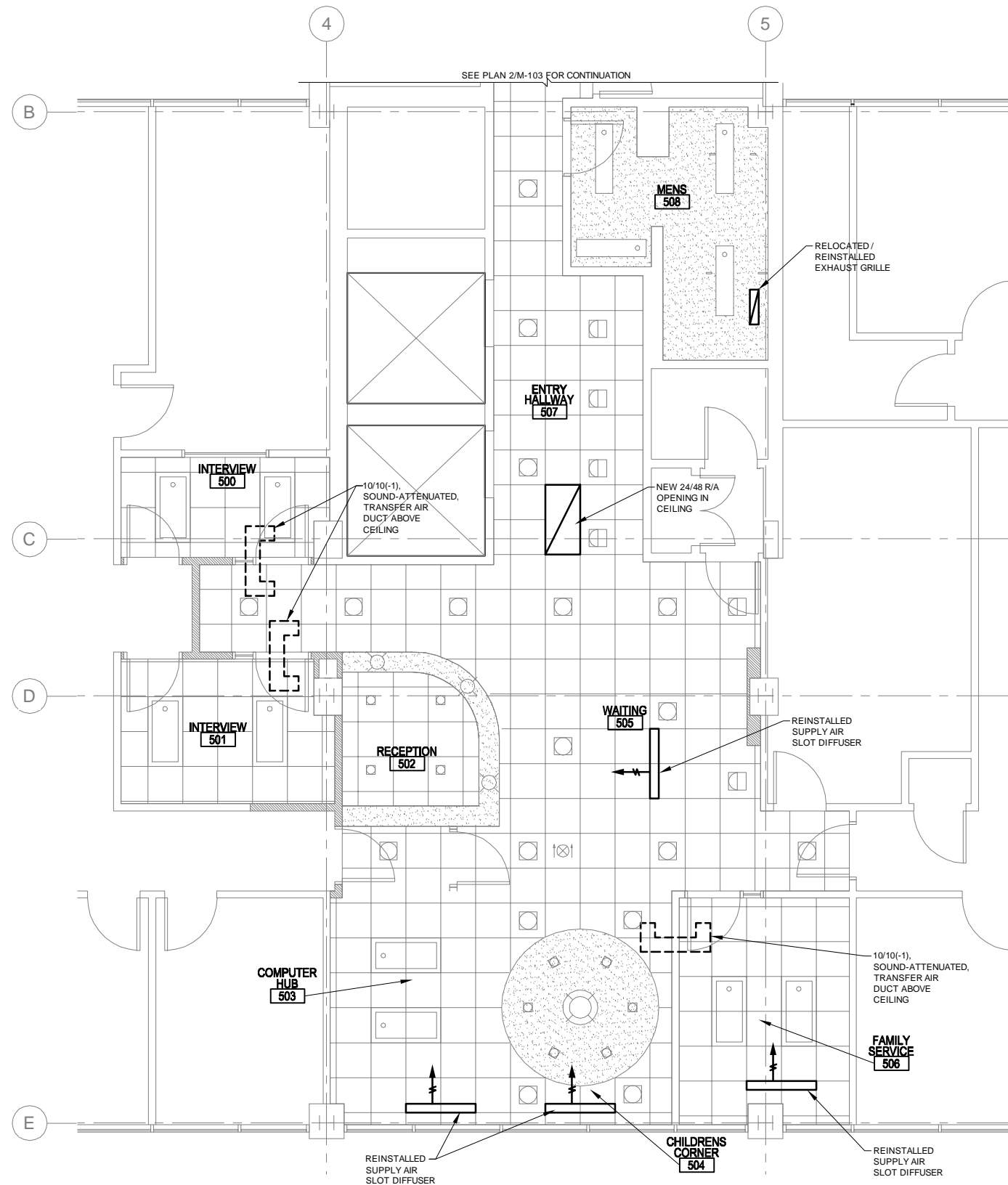
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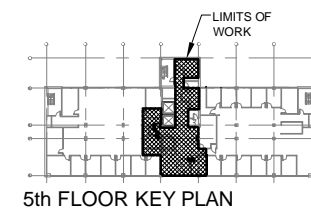
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**2**  
M-103 SCALE: 1/4"=1'-0"  
WOMEN'S ROOM  
CEILING PLAN - RENOVATION



**1**  
M-103 SCALE: 1/4"=1'-0"  
CEILING PLAN - RENOVATION



5th FLOOR KEY PLAN



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544 4th Avenue,  
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3017 Clinton Drive  
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Juneau, Alaska 99801  
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TANANA CHIEFS CONFERENCE  
122 1ST AVENUE  
FAIRBANKS, AK 99701

Project Mgr.	VANDERWEELE
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Sheet Contents:  
**RENOVATION -  
CEILING PLAN  
PLAN**

Sheet No.:  
**M-103**

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### ELECTRICAL ABBREVIATIONS

ADD	ADDITIVE
AFF	ABOVE FINISHED FLOOR
AFG	ABOVE FINAL GRADE
AIP	ABANDON IN PLACE
ALT	ALTERNATE
APPROX	APPROXIMATE
BLDG	BUILDING
CLG	CEILING
C	CONDUIT
CO	CONDUIT ONLY
CB	CIRCUIT BREAKER
CKT	CIRCUIT
CT	CURRENT TRANSFORMER
CU	COPPER
DB	DIRECT BURY
DISC	DISCONNECT
(E)	EXISTING
EGC	EQUIPMENT GROUND CONDUCTOR
EM	EMERGENCY
EMT	ELECTRICAL METALLIC TUBING
ETR	EXISTING TO REMAIN
GEC	GROUNDING ELECTRODE CONDUCTOR
GFCI	GROUND FAULT CIRCUIT INTERRUPTOR
GRND	GROUND
H	HOT OR HEIGHT
IMC	INTERMEDIATE METAL CONDUIT
LCC	LIGHTING CONTROLS CONTACTOR
LFMC	LIQUID-TITE FLEX METAL CONDUIT
MBJ	MAIN BONDING JUMPER
MCB	MAIN CIRCUIT BREAKER
MDP	MAIN DISTRIBUTION PANEL
MH	MOUNTING HEIGHT
MLO	MAIN LUG ONLY
MOM	MOMENTARY
MTS	MANUAL TRANSFER SWITCH
N	NEUTRAL
N/A	NOT APPLICABLE
NC	NORMALLY CLOSED
N.O.	NORMALLY OPEN
NFS	NON-FROST SUSCEPTIBLE
NIC	NOT IN CONTRACT
NL	NIGHT LIGHT
NTS	NOT TO SCALE
OC	ON CENTER
PA	PUBLIC ADDRESS
RMC	RIGID METAL CONDUIT
SW	SWITCH
TR	TAMPER RESISTANT
UON	UNLESS OTHERWISE NOTED
WG	WIRE GUARD
WP	WEATHER-PROOF

### ELECTRICAL LEGEND

LIGHTING		POWER / CONTROL		COMMUNICATIONS	
A	LETTER(S) INDICATE LIGHT FIXTURE TYPE		DUPLEX RECEPTACLE, GFCI TYPE		WALL/FLOOR MOUNTED DATA OUTLET, SUBSCRIPT DENOTES NUMBER OF OUTLETS PER JUNCTION BOX (DEFAULT, ONE)
	LIGHT FIXTURE, SURFACE MOUNT		DUPLEX RECEPTACLE, WALL/FLOOR MOUNTED		WALL/FLOOR MOUNTED TELEPHONE OUTLET, SUBSCRIPT DENOTES NUMBER OF OUTLETS PER JUNCTION BOX (DEFAULT, ONE)
	LIGHT FIXTURE, RECESS MOUNT		DOUBLE DUPLEX RECEPTACLE, WALL/FLOOR MOUNTED		WALL/FLOOR MOUNTED COMBINATION DATA AND TELEPHONE OUTLET, SUBSCRIPT DENOTES NUMBER OF DATA OUTLETS PER JUNCTION BOX (DEFAULT, ONE)
	EMERGENCY LIGHT FIXTURE, SURFACE MOUNT		MULTI-OUTLET SURFACE RACEWAY ASSEMBLY		TELEVISION OUTLET
	EMERGENCY LIGHT FIXTURE, RECESS MOUNT		CONTROL OR TERMINAL CABINET, TYPE AS NOTED		SPEAKER, WALL/CEILING MOUNTED
	NIGHT LIGHT FIXTURE, SURFACE MOUNT		PANELBOARD, SURFACE/FLUSH MOUNTED		TIME CLOCK
	NIGHT LIGHT FIXTURE, RECESS MOUNT		JUNCTION BOX		EMPLOYEE TIME CLOCK
	NIGHT/EMERGENCY LIGHT FIXTURE, SURFACE MOUNT		EQUIPMENT CONNECTION	<b>FIRE ALARM</b>	
	NIGHT/EMERGENCY LIGHT FIXTURE, RECESS MOUNT		THERMOSTAT		FIRE ALARM PULL STATION
	LIGHT FIXTURE, WALL MOUNT		CONDUIT STUBBED & CAPPED OR BUSHED AS NOTED		PHOTOELECTRIC SMOKE DETECTOR, "I" DENOTES IONIZATION
	WALL MOUNTED LIGHT FIXTURE		RACEWAY UP		FIRE ALARM HORN/STROBE
	RECESSED CEILING WALL-WASH FIXTURE		RACEWAY DOWN		FIRE ALARM HORN/STROBE, CEILING MOUNTED
	RECESSED CEILING MOUNTED LIGHT FIXTURE		UNDERGROUND OR UNDER FLOOR CIRCUIT		FIRE ALARM STROBE
	PENDANT LIGHT FIXTURE		CIRCUIT CONCEALED / ABOVE CEILING		DOOR HOLD
	EXIT SIGN, CEILING MOUNT, ARROW INDICATES DIRECTION		BRANCH CIRCUIT HOMERUN WITH GROUND, NEUTRAL AND NUMBER OF HOT WIRES	<b>NOTATION</b>	
	EXIT SIGN, WALL MOUNT, ARROW INDICATES DIRECTION		INDICATES PANEL AND CIRCUIT NUMBER		REFERENCE TO SHEET NOTE
	OCCUPANCY SENSOR, LETTER DENOTES TYPE A = INFRARED, WALL-SWITCH MOUNT C = ULTRASONIC, CEILING MOUNT G = INFRARED, WALL AND CEILING MOUNT, FOR AIR HANDLER UNIT CONTROL IN CONJUNCTION WITH HAZARDOUS GAS DETECTION SYSTEM				REFERENCE TO REVISION
	LIGHT SWITCH NO LETTER = SINGLE-POLE SWITCH 2 = 2-WAY SWITCH 3 = 3-WAY SWITCH 4 = 4-WAY SWITCH K = KEY OPERATED SWITCH			<b>DRAWING CONVENTION</b>	
					NEW OR DEMOLITION ELECTRICAL ITEMS ARE TYPICALLY INDICATED BY SOLID & BOLD LINES, UNLESS OTHERWISE NOTED. EXISTING
					ELECTRICAL ITEMS ARE TYPICALLY INDICATED BY DASHED & LIGHTWEIGHT LINES, UNLESS OTHERWISE NOTED.

**ELECTRICAL SERVICE LOAD:**

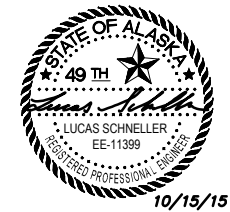
1. NET CHANGE TO LOAD ON BUILDING SERVICE IS A DECREASE OF 375 WATTS, 0.45A AT 480V.	
EXISTING LIGHTING REMOVED: (2068 x 125% CONTINUOUS)	2585 W
NEW LIGHTING ADDED: (1408 x 125% CONTINUOUS)	1760 W
EXISTING RECEPTACLES REMOVED: (3420 x 50% PER NEC 220.44)	1710 W
NEW RECEPTACLES ADDED: (4320 x 50% PER NEC 220.44)	2160 W

### LIGHT FIXTURE SCHEDULE

ID	DESCRIPTION	FIXTURE			COLOR TEMP	CONTROL	MOUNTING	MTG HEIGHT	CLG TYPE	MANUFACTURERS CATALOG NO.	NOTES
		VOLTAGE	WATTS	LUMENS							
A	6" LED DOWNLIGHT	120	30	2500	3500K	-	RECESSED	-	GRID	GOTHAM EVO-6AR-DLR-LSS	1
B	LOW-VOLTAGE PENDANT	120	8	500	3500K	-	PENDANT	SEE NOTE	GWB	TECH LIGHTING 700-FIRF-MP-X-S-LED830	2,3,5
C	NOT USED										
D	2" LED DOWNLIGHT	120	7	500	3500K	-	RECESSED	-	GWB	GOTHAM ICO-2AR-LSS-45D	
D2	2" LED DOWNLIGHT	120	10	750	3500K	-	RECESSED	-	GWB	GOTHAM ICO-2AR-LSS-45D	
DS	2" LED DOWNLIGHT	120	14	1000	3500K	-	SURFACE	-	GWB/ WOOD	GOTHAM ICO CYL-2AR-LSS-45D-FCMS	4
E	EXIT SIGN WITH BATTERYLESS EMERGENCY	120	-	-	-	-	VARIES	7'-0" (WALL)	VARIES	EVENLITE SENTRY HYBRID-WHITE	
F	2x4 VOLUMETRIC LED	120	47	4800	3500K	BI-LEVEL	RECESSED	-	GRID	LITHONIA 2VTL4-ADP	1
G	LED SURFACE WRAP	120	32	3200	3500K	-	SURFACE	-	GWB	AXIS PWSLED-B3-MF-S4-W	1
H	4" LED WALL WASH	120	24	750	3500K	-	RECESSED	-	GRID	GOTHAM EVO-WW-4AR-LSS	

<b>ABBREVIATIONS:</b>			<b>GENERAL NOTES:</b>		
GWB = GYPSUM WALL BOARD	CWA = CONSTANT WATTAGE	SFP = SEE FLOOR PL AN	1. MOUNTING HEIGHTS SHOWN ARE TYPICAL FOR FIXTURE TYPE UNLESS OTHERWISE INDICATED ON THE PLANS. 2. FIXTURE TYPES INDICATED IN EACH ROOM ON THE PLANS ARE TYPICAL FOR ALL FIXTURES USING THE SAME SYMBOL IN THAT ROOM UNLESS OTHERWISE INDICATED.		
GRID = LAY-IN GRID	AUTOTRANSFORMER	SMHS = SEE MOUNTING			
STR = EXPOSED STRUCTURE	MH = METAL HALIDE	HEIGHT SCHEDULE			
ELEC = ELECTRONIC	HPS = HIGH PRESSURE SODIUM				
HPF = HIGH POWER FACTOR	QTZ = QUARTZ				

- LIGHT FIXTURE SCHEDULE NOTES:**
- PROVIDE EMERGENCY FIXTURES (AS INDICATED ON PLAN) WITH INTEGRAL BATTERY BACKUP.
  - PROVIDE WITH 4" CANOPY WITH INTERGRAL RECESSED TRANSFORMER.
  - FIELD COORDINATE FINAL MOUNTING HEIGHT.
  - MOUNT FIXTURE TO GWB CEILING ABOVE WOOD SLAT CEILING. COORDINATE OPENINGS IN WOODS SLATS WITH FIXTURE LOCATIONS.
  - SHADE COLOR AS SELECTED BY ARCHITECT FROM STANDARD COLOR OPTIONS.



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2515 A Street  
Anchorage, Alaska 99503  
(907) 276-4245

544 4th Avenue,  
Suite 102  
Fairbanks, Alaska 99701  
(907) 452-2128

3017 Clinton Drive  
Suite 201  
Juneau, Alaska 99801  
(907) 790-2901

351 W. Parks Highway  
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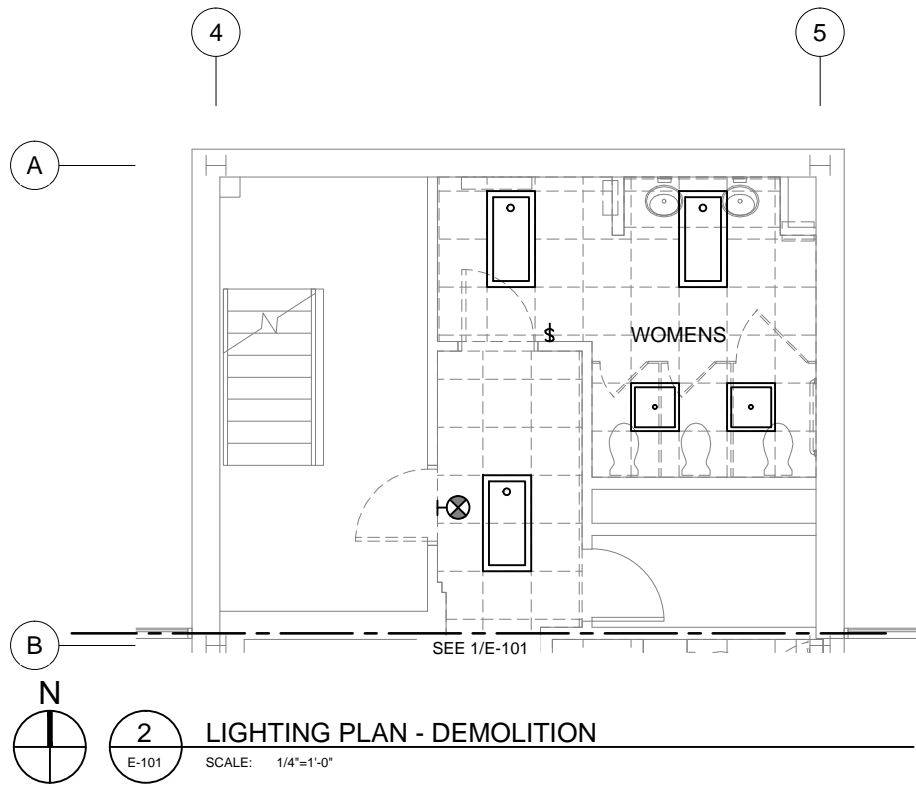
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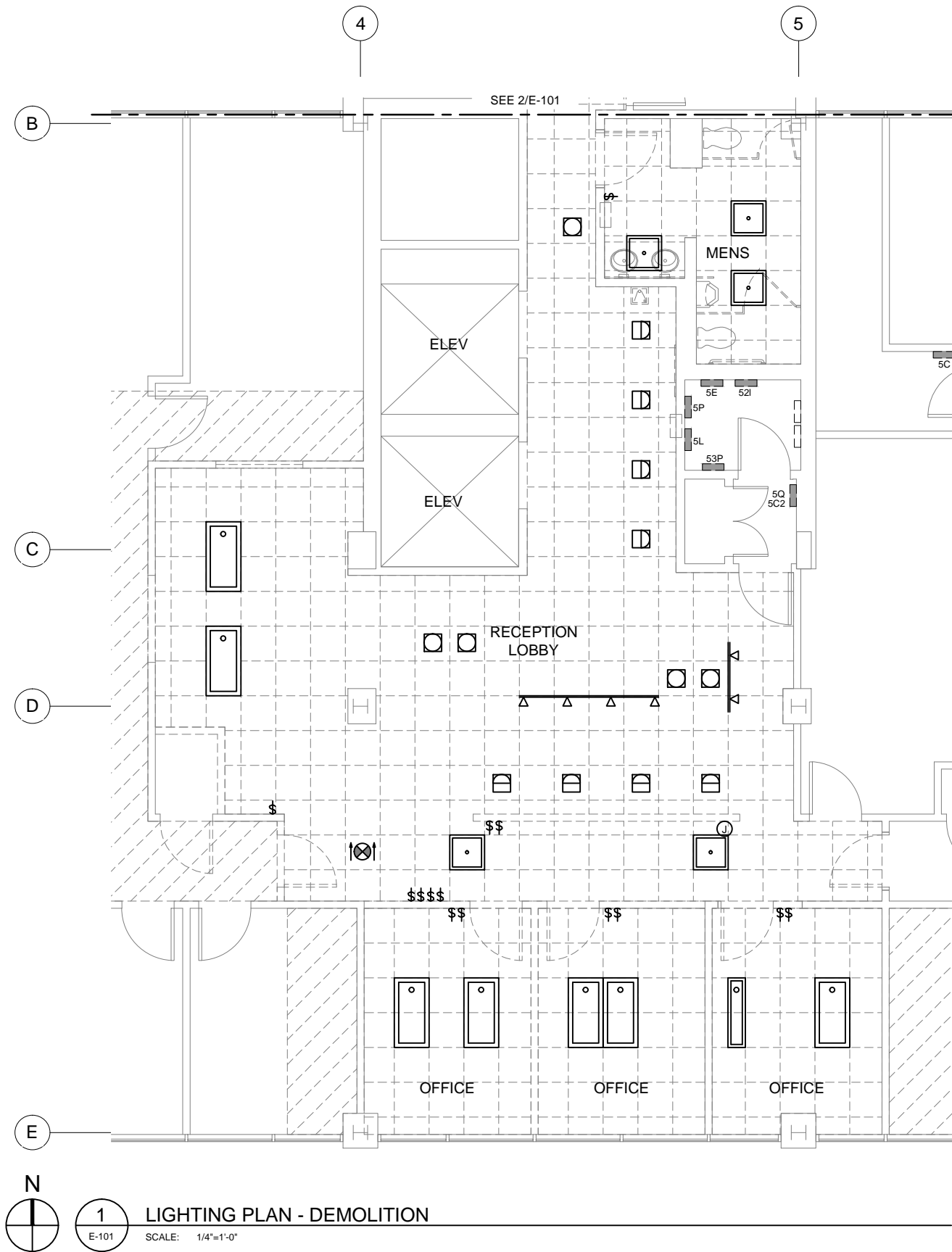
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**ELECTRICAL LEGEND, ABBREVIATIONS & SCHEDULES**

Sheet No.:  
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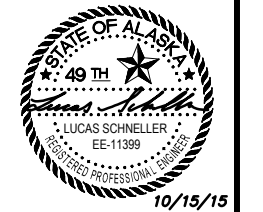
**2** LIGHTING PLAN - DEMOLITION  
E-101 SCALE: 1/4"=1'-0"



**1** LIGHTING PLAN - DEMOLITION  
E-101 SCALE: 1/4"=1'-0"

**GENERAL NOTES:**

1. REMOVE DEVICES INDICATED, INCLUDING ALL ASSOCIATED ACCESSIBLE CONDUIT AND CONDUCTORS BACK TO PANEL OR PREVIOUS DEVICE TO REMAIN ON CIRCUIT, UNLESS OTHERWISE INDICATED.
2. EXISTING CONDUIT ABOVE CEILING MAY BE REUSED WHERE APPROPRIATE FOR NEW FIXTURE LAYOUT. ALL UNUSED CONDUITS SHALL BE REMOVED.



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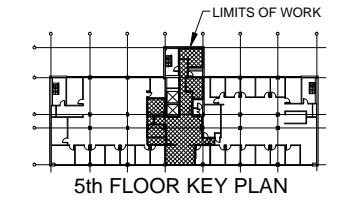
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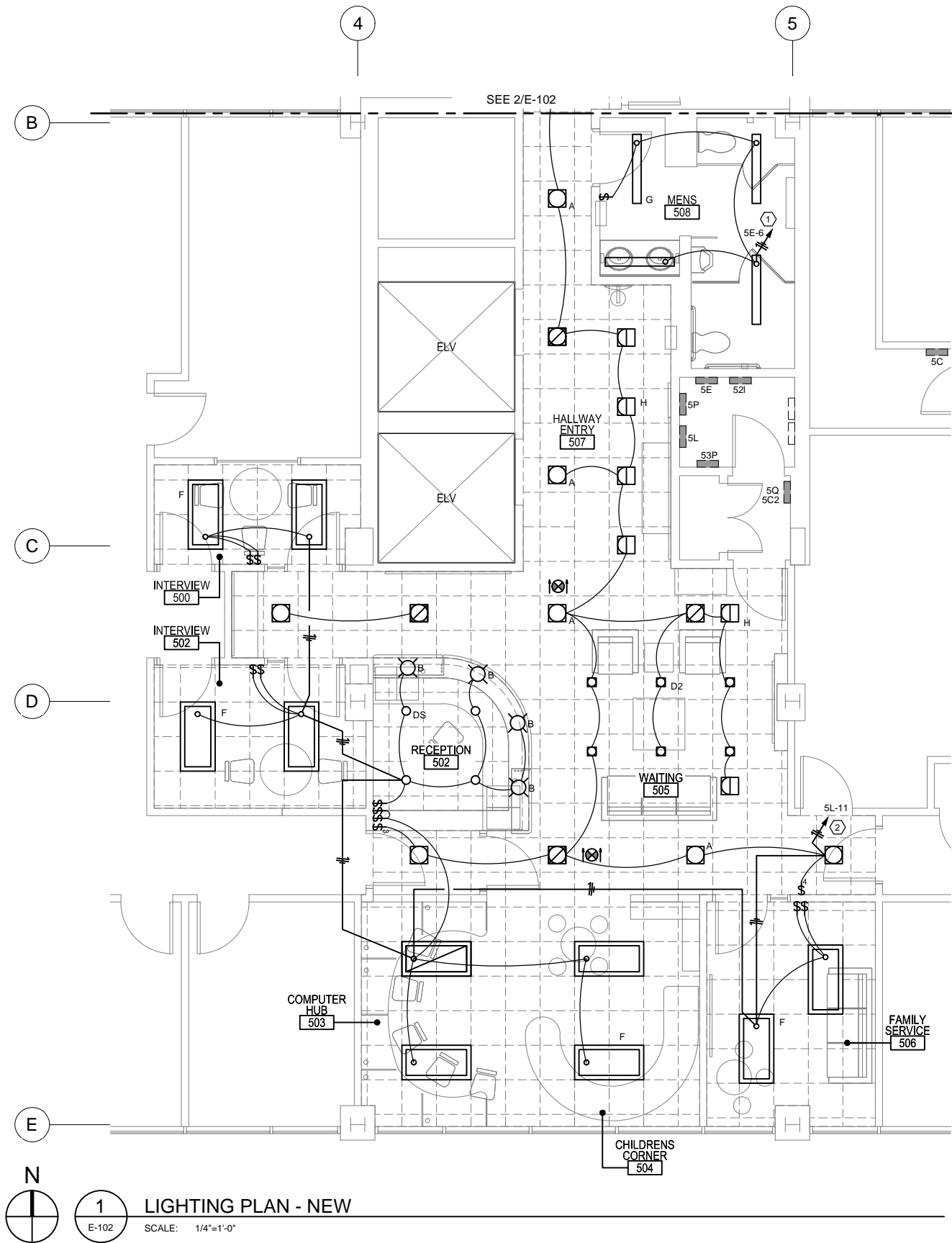
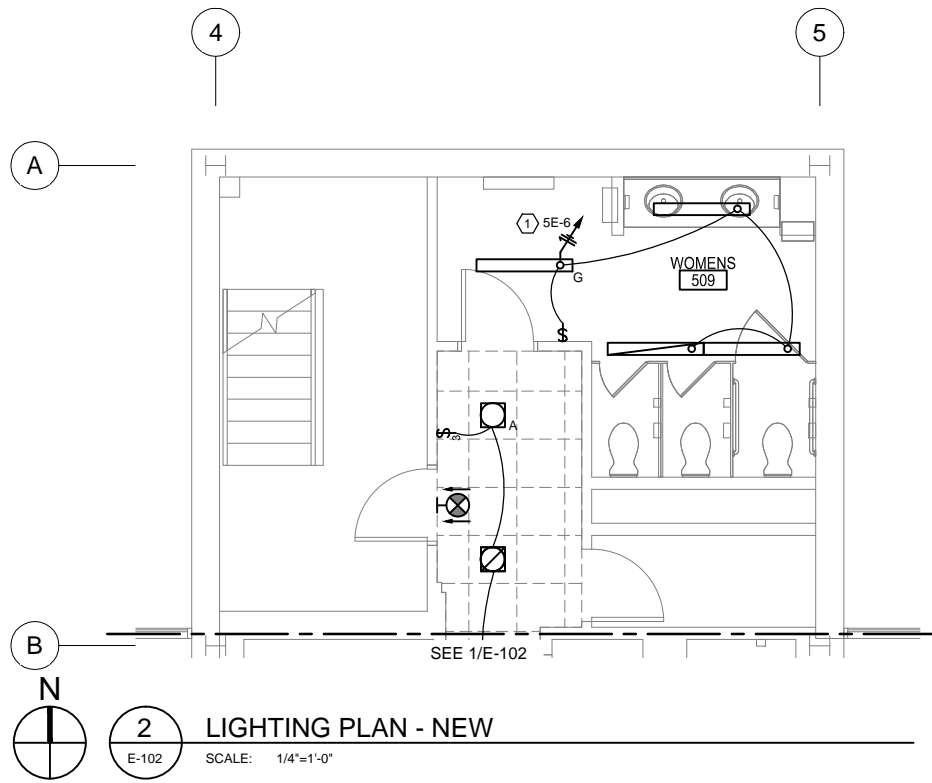
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Sheet Contents:  
**LIGHTING PLAN -  
DEMOLITION**

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**E-101**  
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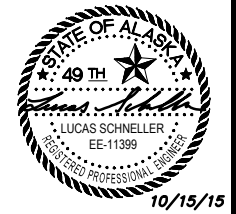


**GENERAL NOTES:**

1. ALL EXIT SIGNS ARE TYPE E. SERVE EXIT SIGNS FROM UNSWITCHED LIGHTING CIRCUIT SERVING THE AREA CONTAINING THE EXIT SIGN.
2. EXISTING CIRCUIT NUMBERS INDICATED ARE DERIVED FROM LIMITED SITE INVESTIGATION. FIELD VERIFY EXISTING CIRCUITS PRIOR TO STARTING WORK.

**SHEET NOTES:**

1. RECONNECT TO EXISTING CIRCUIT. NET CHANGE IN LOAD IS A REDUCTION OF 171 WATTS, 0.62A AT 277V.
2. RECONNECT TO EXISTING CIRCUIT. NET CHANGE IN LOAD IS AN INCREASE OF 271 WATTS, 0.98A AT 277V. VERIFY CIRCUIT LOAD/CAPACITY AND NOTIFY ENGINEER IF NEW CIRCUIT LOAD WILL EXCEED 12A ON EXISTING 20A BREAKER.



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3017 Clinton Drive  
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**5TH FLOOR LOBBY  
RENOVATION**

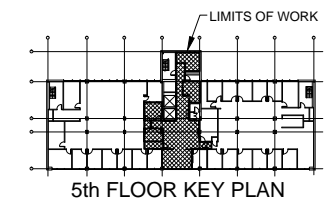
Project No. 01124 08278 002584  
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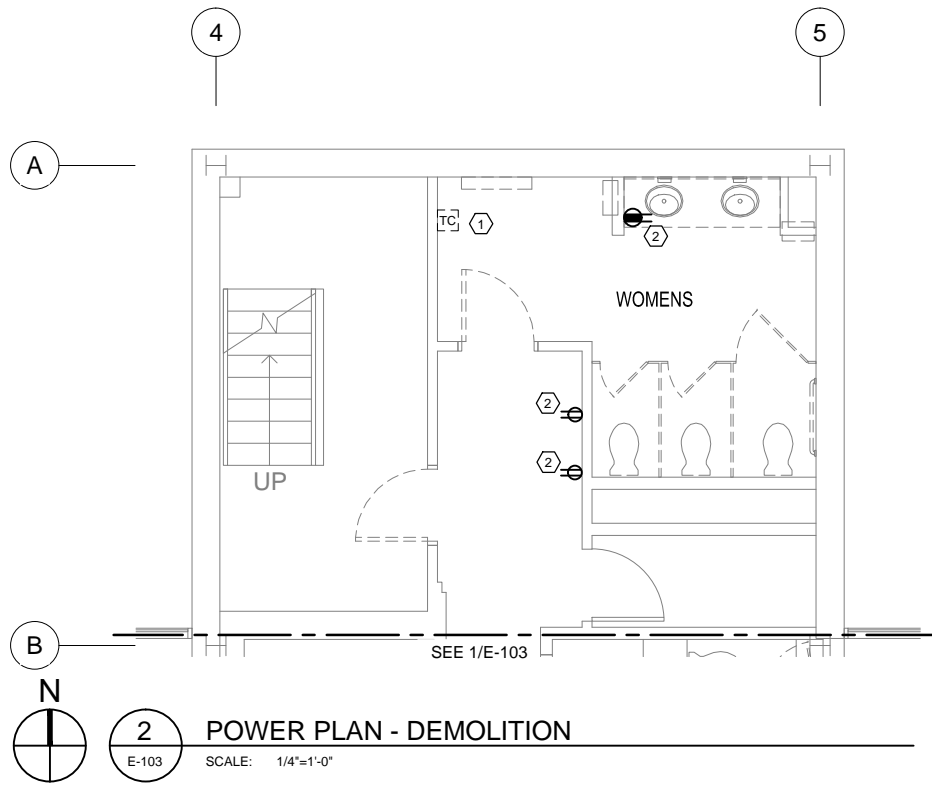
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**LIGHTING PLAN -  
NEW**

Sheet No.:  
**E-102**

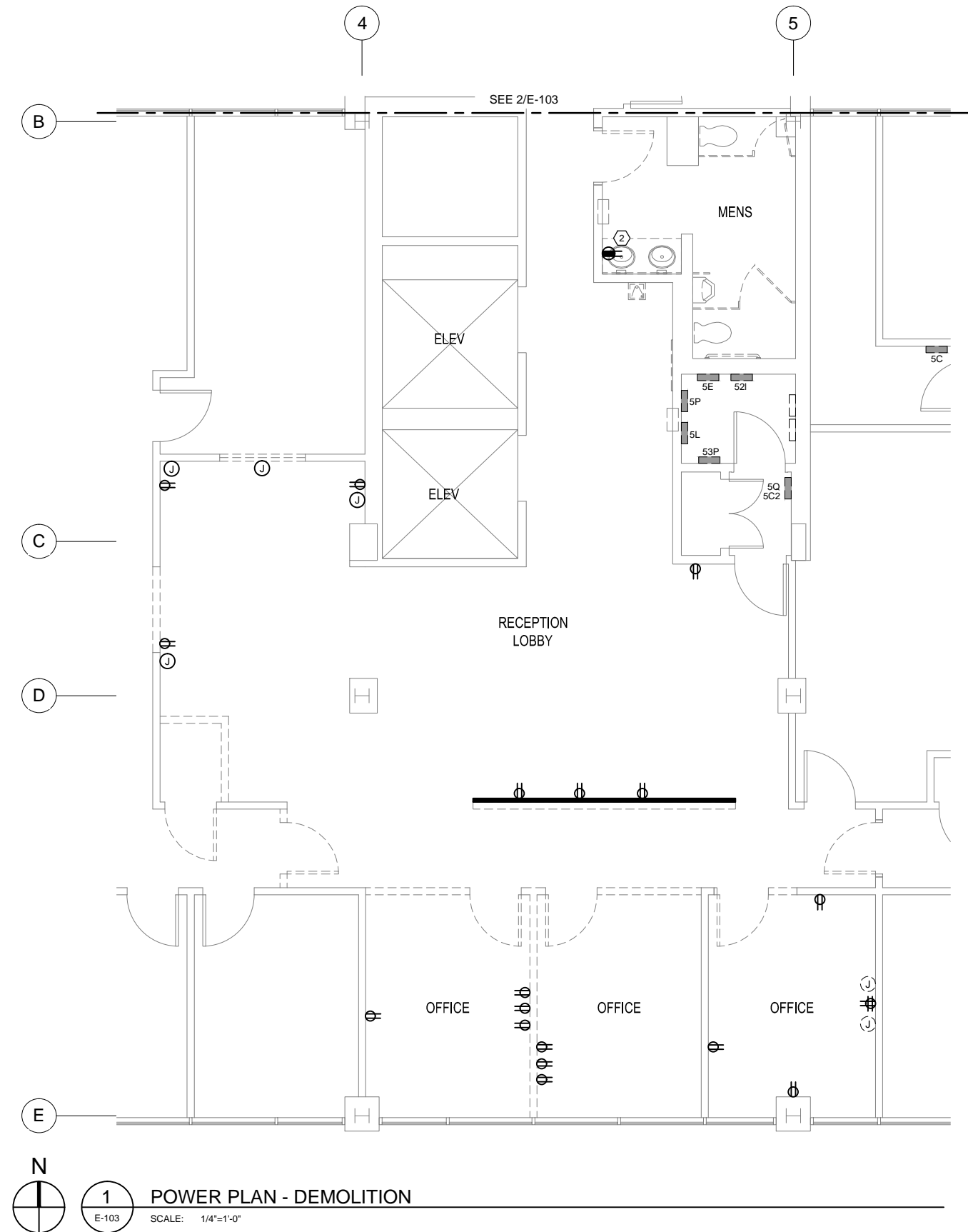
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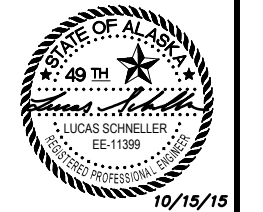
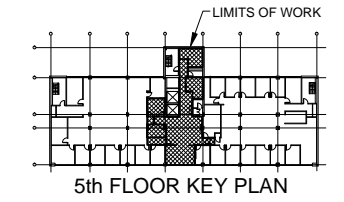


**2 POWER PLAN - DEMOLITION**  
E-103 SCALE: 1/4"=1'-0"



**1 POWER PLAN - DEMOLITION**  
E-103 SCALE: 1/4"=1'-0"

- GENERAL NOTES:**
1. REMOVE DEVICES INDICATED, INCLUDING ALL ASSOCIATED ACCESSIBLE CONDUIT AND CONDUCTORS BACK TO PANEL OR PREVIOUS DEVICE TO REMAIN ON CIRCUIT, UNLESS OTHERWISE INDICATED.
- SHEET NOTES:** (X)
1. VERIFY EQUIPMENT SERVED BY TIME CLOCK. REMOVE IF NO LONGER IN USE.
  2. REMOVE DEVICE AND WALLPLATE. EXISTING DEVICE BOX AND CONDUCTORS TO REMAIN.



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2515 A Street  
Anchorage, Alaska 99503  
(907) 276-4245

544 4th Avenue,  
Suite 102  
Fairbanks, Alaska 99701  
(907) 452-2128

3017 Clinton Drive  
Suite 201  
Juneau, Alaska 99801  
(907) 790-2901

351 W. Parks Highway  
Suite 200  
Wasilla, Alaska 99654  
(907) 376-7815

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Project:  
**CHIEF PETER JOHN TRIBAL BUILDING**  
**5TH FLOOR LOBBY RENOVATION**

Project No. 01124 08278 002584  
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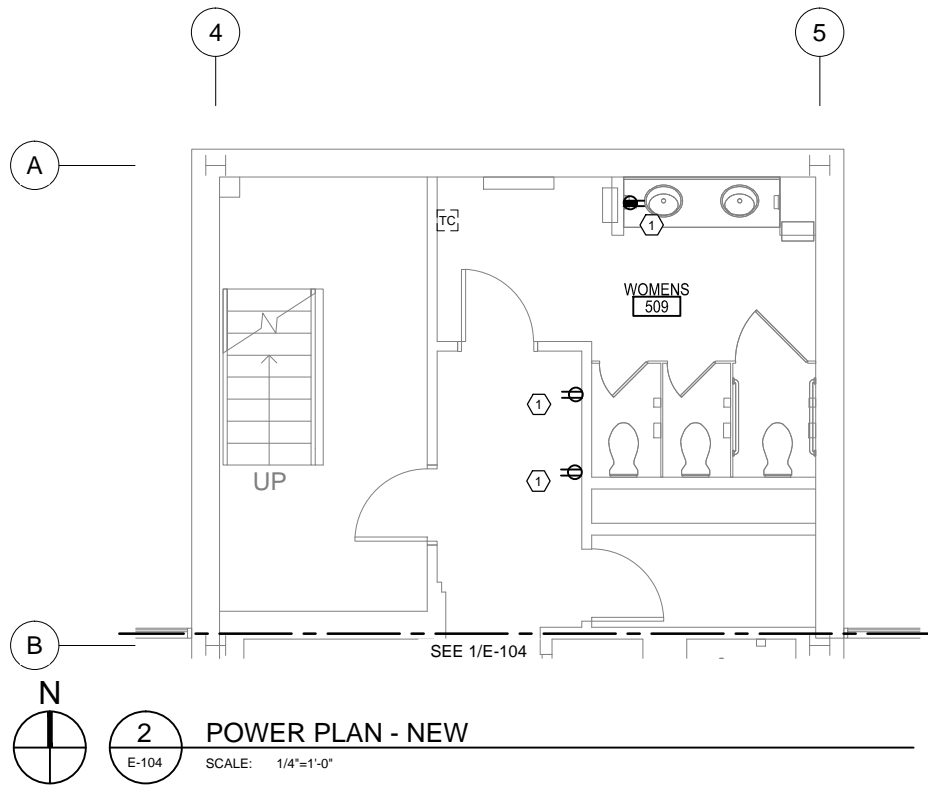
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**POWER PLAN - DEMOLITION**

Sheet No.:  
**E-103**  
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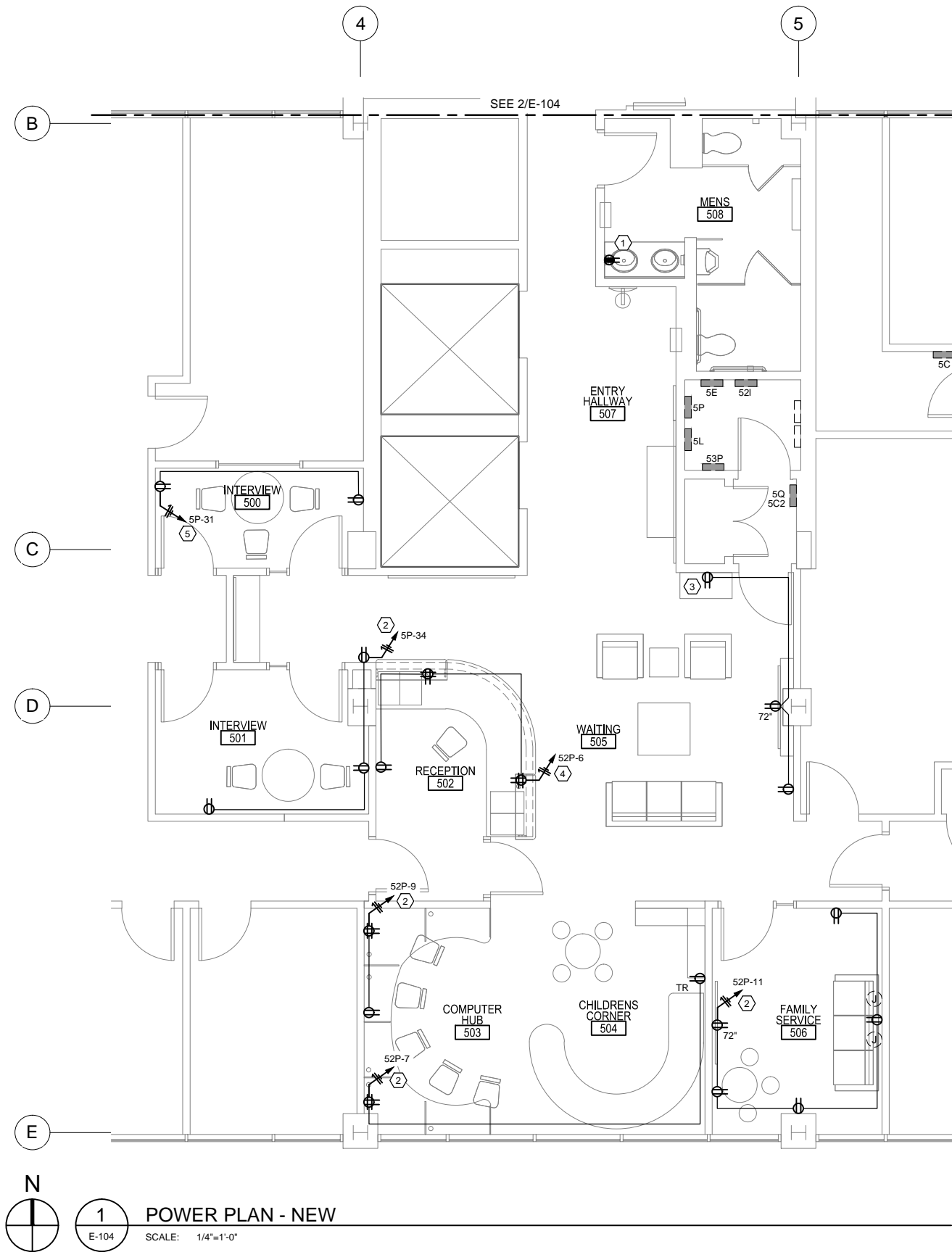
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**2** POWER PLAN - NEW  
E-104 SCALE: 1/4"=1'-0"



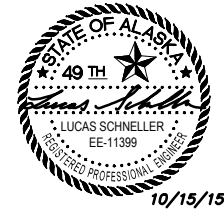
**1** POWER PLAN - NEW  
E-104 SCALE: 1/4"=1'-0"

**GENERAL NOTES:**

- EXISTING CIRCUIT NUMBERS INDICATED ARE DERIVED FROM LIMITED SITE INVESTIGATION. FIELD VERIFY EXISTING CIRCUITS PRIOR TO STARTING WORK.

**SHEET NOTES:** (X)

- INSTALL NEW DEVICE AND WALLPLATE IN EXISTING DEVICE BOX. RECONNECT TO EXISTING CONDUCTORS.
- SERVE RECEPTACLES FROM EXISTING RECEPTACLE CIRCUIT IN THIS AREA. NO NET CHANGE IN LOAD.
- EXTEND EXISTING RECEPTACLE CIRCUIT FROM THIS LOCATION. NET CHANGE IN LOAD IS AN INCREASE OF 360 WATTS, 3A AT 120V. VERIFY TOTAL NUMBER OF RECEPTACLES ON CIRCUIT AND NOTIFY ENGINEER IF MORE THAN EIGHT.
- SERVE RECEPTACLES FROM EXISTING RECEPTACLE CIRCUIT IN THIS AREA. NET CHANGE IN LOAD IS AN INCREASE OF 360 WATTS, 3A AT 120V. VERIFY NO OTHER RECEPTACLES ARE SERVED BY THIS CIRCUIT.
- SERVE RECEPTACLES FROM EXISTING RECEPTACLE CIRCUIT IN THIS AREA. NET CHANGE IN LOAD IS AN INCREASE OF 360 WATTS, 3A AT 120V. VERIFY TOTAL NUMBER OF RECEPTACLES ON CIRCUIT AND NOTIFY ENGINEER IF MORE THAN EIGHT.



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Anchorage, Alaska 99503  
(907) 276-4245  
544 4th Avenue,  
Suite 102  
Fairbanks, Alaska 99701  
(907) 452-2128  
3017 Clinton Drive  
Suite 201  
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351 W. Parks Highway  
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Wasilla, Alaska 99654  
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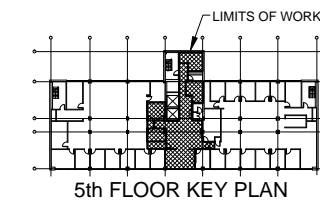
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Sheet Contents:  
**POWER PLAN -  
NEW**

Sheet No.:  
**E-104**

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**SPECIFICATIONS**

**1. GENERAL**

- 1.1. ALL WORK SHALL CONFORM TO THE LATEST EDITION OF THE NATIONAL ELECTRICAL CODE (NEC) AND ALL STATE AND LOCAL CODES AND CODE AMENDMENTS.
- 1.2. OBTAIN ALL PERMITS AND PAY ALL FEES REQUIRED BY THIS WORK.
- 1.3. MAINTAIN RESPONSIBILITY FOR THE CONDITION OF ALL MATERIALS USED. IF LOST, STOLEN, OR DAMAGED, MATERIALS SHALL BE REPLACED AT NO EXTRA COST TO THE OWNER. ALL WORK SHALL BE PERFORMED BY WORKMEN SKILLED IN AND REGULARLY EMPLOYED IN THE TRADE. INSTALL ALL PRODUCTS IN A NEAT AND WORKMANLIKE MANNER, PER MANUFACTURER'S INSTRUCTIONS, AND IN COMPLIANCE WITH NECA 1 'STANDARD PRACTICE FOR GOOD WORKMANSHIP IN ELECTRICAL CONTRACTING' AS A MINIMUM. COMPLY WITH NFPA 70E SAFETY RULES AS A MINIMUM.
- 1.5. PERFORM ALL CUTTING, DRILLING, AND PATCHING OF WALLS AND FLOORS NECESSARY FOR A COMPLETE INSTALLATION IN COORDINATION WITH OTHER TRADES.
- 1.6. COORDINATION INSTALLATION AND ARRANGEMENT OF COMPONENTS AND EQUIPMENT WITH OTHER TRADES AND INSTALL TO FACILITATE ACCESS FOR FUTURE MAINTENANCE, REPAIR, AND REPLACEMENT WITHOUT INTERFERENCE TO ADJACENT WORK.
- 1.7. REMOVE ALL DEBRIS AND SURPLUS MATERIAL FOR THE PREMISES AS PROGRESS OF THE WORK DICTATES.
- 1.8. ALL ELECTRICAL EQUIPMENT SHALL BE LISTED BY A NATIONALLY RECOGNIZED TESTING LABORATORY (NRTL).

**2. PRODUCTS AND SUBMITTALS**

- 2.1. SUBMIT PRODUCT DATA, CERTIFICATES, AND SHOP DRAWINGS TO THE ENGINEER. PROVIDE SUBMITTALS FOR PANELBOARDS, WIRING DEVICES, LIGHT FIXTURES, CONDUCTORS, EQUIPMENT, MOTOR STARTERS, ALARM PANELS AND DEVICES, AND TELECOMMUNICATIONS EQUIPMENT.
- 2.2. ALL PRODUCTS SHALL BE NEW AND LISTED OR LABELED BY A NATIONALLY RECOGNIZED TESTING LABORATORY (NRTL) FOR THE INTENDED USE, UNLESS OTHERWISE INDICATED.
- 2.3. MATCH EXISTING WHERE A UNIFORM INSTALLATION EXISTS UNLESS OTHERWISE INDICATED OR APPROVED.
- 2.4. PROVIDE SIMILAR ITEMS FROM THE SAME MANUFACTURER THROUGHOUT THE PROJECT.

**3. DEMOLITION**

- 3.1. REMOVE ALL EXPOSED ELECTRICAL WORK IN DEMOLITION AREAS. ACCESSIBLE CIRCUITS AND RACEWAYS SHALL BE REMOVED BACK TO THE SOURCE OR TERMINAL EQUIPMENT UNLESS OTHERWISE INDICATED OR WHERE CIRCUITS SERVE AREAS TO REMAIN.
- 3.2. REMOVE CONDUCTORS FROM INACCESSIBLE CONDUITS. INACCESSIBLE CONDUITS MAY BE ABANDONED IN PLACE. TERMINATE CONDUITS 2 INCHES BELOW GRADE OR SURFACE OF ADJACENT CONSTRUCTION.
- 3.3. REMOVE, STORE, CLEAN, REINSTALL, RECONNECT, AND MAKE OPERATIONAL COMPONENTS INDICATED FOR RELOCATION.

**4. ELECTRICAL DISTRIBUTION**

- 4.1. OVERCURRENT PROTECTIVE DEVICES SHALL BE CIRCUIT BREAKER TYPE, BOLT-IN DESIGN. CIRCUIT BREAKERS SHALL BE MOLDED CASE, THERMAL-MAGNETIC DESIGN. INSTALL GROUND-FAULT CIRCUIT INTERRUPTER (GFCI) CIRCUIT BREAKERS WHERE INDICATED ON THE DRAWINGS AND REQUIRED BY CODE.
- 4.2. DISCONNECT SWITCHES SHALL BE HEAVY-DUTY TYPE, FUSED OR NON-FUSED AS INDICATED ON THE DRAWINGS.
- 4.3. MAGNETIC-TYPE MOTOR STARTERS SHALL BE COMBINATION UNITS INCORPORATING A NON-FUSED DISCONNECT.
- 4.4. PROVIDE MOTOR STARTERS WITH THERMAL OR ELECTRONIC OVERLOAD ELEMENTS SIZED BASED ON THE FULL LOAD CURRENT OF THE INSTALLED EQUIPMENT.

**5. RACEWAYS AND BOXES**

- 5.1. CONDUIT TYPES SHALL BE:
  - 5.1.1. INTERIOR EXPOSED BELOW 4'AFF: RMC OR IMC.
  - 5.1.2. INTERIOR EXPOSED ABOVE 4'AFF: RMC, IMC, OR EMT.
  - 5.1.3. INTERIOR CONCEALED: RMC, IMC, OR EMT.
- 5.2. CONNECTIONS TO EQUIPMENT REQUIRING FLEXIBILITY OR SUBJECT TO VIBRATION SHALL BE:
  - 5.2.1. INTERIOR, DRY LOCATIONS: FMC OR LFMC.
  - 5.2.2. INTERIOR, DAMP OR WET LOCATIONS: LFMC.
- 5.3. MINIMUM CONDUIT SIZE SHALL BE 1/2".
- 5.4. CONDUIT FITTINGS SHALL BE GALVANIZED STEEL AND HAVE NYLON INSULATED THROATS.
- 5.5. CONDUIT FITTINGS FOR RMC AND IMC SHALL BE THREADED TYPE.
- 5.6. CONDUIT FITTINGS FOR EMT SHALL BE STEEL COMPRESSION TYPE.
- 5.7. PENETRATIONS THROUGH FIRE-RATED ASSEMBLIES SHALL BE SEALED TO MAINTAIN THE FIRE RATING.
- 5.8. CONDUITS PASSING FROM HEATED TO COLD SPACES SHALL BE THERMALLY SEALED TO PREVENT AIR AND MOISTURE TRANSFER. CONDUIT SHALL BE SEALED WITH REMOVABLE DUCT SEALANT AT AN ACCESSIBLE LOCATION.
- 5.9. CONDUITS SHALL BE CUT SQUARE AND ENDS REAMED TO REMOVE BURRS.
- 5.10. MAXIMUM CONDUIT BEND SHALL BE 90 DEGREES, WITH NOT MORE THAN THREE 90 DEGREE BENDS OR EQUIVALENT BETWEEN PULL POINTS.
- 5.11. JUNCTION AND DEVICE BOXES SHALL BE SUITABLE FOR USE AT THE INSTALLED LOCATION AND ARRANGED TO ACCEPT THE INTENDED DEVICE OR EQUIPMENT. JUNCTION AND DEVICE BOXES SHALL BE:
  - 5.11.1. INTERIOR EXPOSED BELOW 5'AFF: GALVANIZED CAST IRON OR CAST ALUMINUM WITH THREADED CONDUIT HUBS.
  - 5.11.2. INTERIOR EXPOSED ABOVE 5'AFF: GALVANIZED SHEET STEEL.
  - 5.11.3. INTERIOR CONCEALED: GALVANIZED SHEET STEEL.
- 5.12. THE ENTIRE CONDUIT SYSTEM SHALL BE MECHANICALLY AND ELECTRICALLY CONTINUOUS FROM THE SOURCE TO ALL DEVICES AND GROUNDED IN ACCORDANCE WITH THE NEC.
- 5.13. INSTALL CONDUIT AND DEVICES CONCEALED AND FLUSH IN FINISHED AREAS. CONDUIT AND DEVICES MAY BE INSTALLED EXPOSED IN UNFINISHED AREAS AND MECHANICAL ROOMS, AND AS INDICATED ON THE DRAWINGS.

**6. CONDUCTORS AND CABLES**

- 6.1. CONDUCTORS SHALL BE COPPER, SOLID FOR 12AWG AND SMALLER, STRANDED FOR 10AWG AND LARGER. INSULATION SHALL BE:
  - 6.1.1. INTERIOR, HEATED: THHN-THWN OR XHHW.
  - 6.1.2. INTERIOR, UNHEATED: XHHW.
- 6.2. MINIMUM CONDUCTOR SIZES SHALL BE 12AWG FOR POWER AND 18AWG FOR LOW-VOLTAGE AND CONTROLS. CIRCUIT CONDUCTORS SHALL BE INCREASED IN SIZE FOR VOLTAGE DROP BASED ON THE CIRCUIT LENGTH, 12AWG UP TO 100', 10AWG UP TO 200', 8AWG OVER 200'. INCREASE SIZE OF CONDUIT AS REQUIRED FOR LARGER CONDUCTOR SIZES.
- 6.3. TYPE MC CABLE MAY BE USED FOR BRANCH CIRCUIT WIRING BETWEEN DEVICES. HOMERUNS SHALL BE INDIVIDUAL CONDUCTORS IN CONDUIT. MC CABLE SHALL HAVE A GALVANIZED STEEL SHEATH AND INCLUDE AN EQUIPMENT GROUNDING CONDUCTOR.
- 6.4. CONNECTORS AND SPLICES SHALL BE FACTORY-FABRICATED TWIST-ON, COMPRESSION, OR BOLTED, WITH THE AMPACITY, RATING, TYPE, AND MATERIAL APPROPRIATE FOR THE APPLICATION. PUSH-IN SPRING-TYPE CONNECTORS ARE NOT ACCEPTABLE.
- 6.5. PROVIDE A SEPARATE GREEN INSULATED EQUIPMENT GROUNDING CONDUCTOR IN ALL POWER AND CONTROL CIRCUITS. INCREASE SIZE OF GROUNDING CONDUCTOR PROPORTIONALLY AS REQUIRED WHERE POWER CONDUCTORS ARE OVERSIZED FOR VOLTAGE DROP.

**7. WIRING DEVICES**

- 7.1. RECEPTACLES SHALL BE HEAVY-DUTY GRADE, 20AMP, DUPLEX GROUNDING TYPE RECEPTACLES. RECEPTACLES SHALL BE TAMPER RESISTANT WHERE REQUIRED BY CODE OR SPECIFIED ON THE DRAWINGS.
- 7.2. SWITCHES SHALL BE HEAVY-DUTY GRADE, 20AMP, SINGLE POLE, THREE-WAY, FOUR-WAY, KEY-OPERATED, AND PILOT-LIGHT AS INDICATED ON THE DRAWINGS.
- 7.3. GROUND-FAULT CIRCUIT INTERRUPTER (GFCI) RECEPTACLES SHALL BE HEAVY-DUTY GRADE, 20AMP, NON-FEED-THROUGH, DUPLEX RECEPTACLES WITH CLASS A TRIP, TEST AND RESET BUTTONS, AND A PROTECTION INDICATOR LIGHT.
- 7.4. OCCUPANCY SENSORS SHALL HAVE ADJUSTABLE SENSITIVITY AND TIME DELAYS AND SHALL BE SELECTED TO PROVIDE SENSOR COVERAGE OF THE ENTIRE ROOM.
  - 7.4.1. WALL-SWITCH MOUNTED, PASSIVE INFRARED TYPE, 180-DEG FIELD OF VIEW, WITH INTEGRAL RELAY.
  - 7.4.2. WALL-SWITCH MOUNTED, ULTRASONIC TYPE, WITH INTEGRAL RELAY.
  - 7.4.3. WALL-SWITCH MOUNTED, DUAL-TECHNOLOGY TYPE, WITH INTEGRAL RELAY.
  - 7.4.4. CEILING MOUNTED, PASSIVE INFRARED TYPE, WITH SEPARATE RELAY/POWER SUPPLY.
  - 7.4.5. CEILING MOUNTED, ULTRASONIC TYPE, WITH SEPARATE RELAY/POWER SUPPLY.
  - 7.4.6. CEILING MOUNTED, DUAL-TECHNOLOGY TYPE, WITH SEPARATE RELAY/POWER SUPPLY.
- 7.5. WIRING DEVICES SHALL BE IVORY.
- 7.6. WALL PLATES SHALL BE:
  - 7.6.1. FINISHED AREAS: SATIN-FINISH STAINLESS STEEL.
  - 7.6.2. UNFINISHED AREAS: GALVANIZED STEEL.
- 7.7. LIGHTING CONTACTORS SHALL HAVE ELECTRICALLY-HELD COILS, INDICATOR LIGHTS, CONTROL SWITCHES AND PILOT RELAYS AS REQUIRED, AND ENCLOSURES RATED FOR THE INSTALLED ENVIRONMENT.

**8. LIGHTING**

- 8.1. LIGHT FIXTURES SHALL BE AS SHOWN AND SCHEDULED ON THE DRAWINGS OR AN APPROVED EQUAL.
- 8.2. LIGHT FIXTURES SHALL BE PROVIDED AND INSTALLED COMPLETE WITH LAMPS OR LEADS, BALLASTS OR DRIVERS, AND MOUNTING HARDWARE.
- 8.3. EMERGENCY BATTERY UNITS SHALL OPERATE LIGHT FIXTURE CONTINUOUSLY AT FULL OR REDUCED OUTPUT. THE UNIT SHALL INCLUDE INTEGRAL NICKEL-CADMIUM BATTERIES, CHARGING AND TRANSFER ELECTRONICS, TEST PUSHBUTTON, AND CHARGE INDICATOR LIGHT.
- 8.4. EXIT SIGNS SHALL BE LED TYPE, WITH INTEGRAL NICKEL-CADMIUM BATTERIES, CHARGING AND TRANSFER ELECTRONICS, TEST PUSHBUTTON, AND CHARGE INDICATOR LIGHT.
- 8.5. LED DRIVERS SHALL BE ELECTRONIC, RATED FOR THE LEADS INSTALLED IN THE FIXTURE. HAVE A MINIMUM POWER FACTOR OF 0.9 AND A MAXIMUM TOTAL HARMONIC DISTORTION (THD) OR 20%. DRIVERS SHALL CARRY A 5 YEAR WARRANTY.
- 8.6. LEADS SHALL HAVE A MINIMUM RATED LIFE TO L70 OR 50,000 HOURS.
  - 8.6.1. INTERIOR: 3000K OR 3500K AS SCHEDULED, 80 CRI MINIMUM.
- 8.7. LIGHT FIXTURES INSTALLED IN SUSPENDED CEILINGS SHALL BE SUPPORTED FROM THE CEILING GRID. FIXTURES SHALL BE SECURED TO THE GRID WITH CLIPS LISTED FOR THE PURPOSE. INSTALL AT LEAST 1 INDEPENDENT SUPPORT WIRE FROM THE FIXTURE TO THE STRUCTURE. INSTALL AT LEAST 2 INDEPENDENT SUPPORT WIRES LOCATED AT OPPOSITE CORNERS OF THE FIXTURE FOR FIXTURES 4 FEET LONG OR LONGER.

**9. TELECOMMUNICATIONS**

- 9.1. TELECOMMUNICATIONS HORIZONTAL CABLING SHALL BE FOUR-PAIR UTP, RATED CATEGORY 6. CABLE SHALL BE PLENUM RATED WHERE INSTALLED IN AIR-HANDLING PLENUMS.
- 9.2. TELECOMMUNICATIONS OUTLETS SHALL CONSIST OF MODULAR JACKS IN TWO OR FOUR-PART FACEPLATES. JACKS SHALL BE FOUR-PAIR, EIGHT-POSITION, RATED CATEGORY 6.
- 9.3. FACEPLATES SHALL INCLUDE INSERTS FOR LABELS WITH CLEAR, SNAP-IN COVERS. EACH JACK SHALL BE LABELED WITH A UNIQUE DESIGNATION MATCHING THE DESIGNATION ON THE ASSOCIATED PATCH PANEL PORT. LABELS SHALL BE TYPEWRITTEN.
- 9.4. PATCH PANELS SHALL BE RATED CATEGORY 6. PANELS SHALL INCLUDE MULTIPLE PORTS WITH IDC-TYPE TERMINALS. EACH PORT SHALL BE LABELED WITH A UNIQUE DESIGNATION MATCHING THE DESIGNATION OF THE ASSOCIATED WALL JACK. PATCH PANELS SHALL HAVE ONE PORT FOR EACH FOUR-PAIR UTP CABLE PLUS 10% MINIMUM SPARE JACKS FOR FUTURE EXPANSION.

- 9.5. VOICE GRADE CROSS CONNECTS SHALL BE MADE USING 66-STYLE BLOCKS WITH IDC CONNECTORS. BLOCKS SHALL INCLUDE CONNECTORS FOR THE CABLES TERMINATED PLUS 10% MINIMUM SPARE FOR FUTURE EXPANSION.
- 9.6. TELECOMMUNICATIONS CABLING SHALL BE INSTALLED IN CONDUIT WHERE CONCEALED. PROVIDE PROTECTIVE BUSHINGS ON THE ENDS OF EACH CONDUIT. WHERE ACCESSIBLE, CABLING MAY BE INSTALLED USING J-HOOKS OR CABLETRAY. CABLE SUPPORTS SHALL BE SPACED NOT MORE THAN 36 INCHES APART AND CABLES SHALL BE SUSPENDED A MINIMUM OF 8 INCHES ABOVE THE CEILING.
- 9.7. INSTALL AND TEST CABLES IN ACCORDANCE WITH TIA/EIA-568-B.2 FOR CATEGORY 6 CABLES. TEST CABLES FOR WIRE MAP, LENGTH, INSERTION LOSS, NEAR-END CROSS TALK (NEXT) LOSS, POWER SUM NEAR-END CROSSTALK (PSNEXT) LOSS, EQUAL-LEVEL FAR-END CROSSTALK (ELFEXT), POWER SUM EQUAL-LEVEL FAR-END CROSSTALK (PSEFEXT), RETURN LOSS, PROPAGATION DELAY, AND DELAY SKEW. DOCUMENT AND SUBMIT TEST RESULTS.

**10. FIRE ALARM**

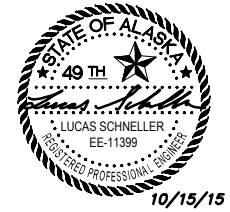
- 10.1. THE EXISTING FIRE ALARM SYSTEM IS A SIMPLEX 4100U INTELLIGENT ADDRESSIBLE SYSTEM. NEW DEVICES INSTALLED SHALL BE COMPATIBLE WITH AND LISTED FOR USE WITH THE EXISTING FIRE ALARM SYSTEM.
- 10.2. NEW INITIATION DEVICES SHALL INCLUDE PHOTOELECTRIC SMOKE DETECTORS.
- 10.3. NEW SIGNALING DEVICES SHALL INCLUDE HORNSTROBES AND STROBES.
- 10.4. SIGNALING LINE AND NOTIFICATION CIRCUITS SHALL MATCH THE CLASS AND STYLE OF THE EXISTING SYSTEM.
- 10.5. FIRE ALARM WIRING SHALL BE ROUTED IN CONDUIT, OR FIRE ALARM MC CABLE.
- 10.6. AFTER INSTALLATION OF NEW DEVICES, TEST FIRE ALARM SYSTEM IN ACCORDANCE WITH NFPA 72 AND NEC ARTICLE 760. SUBMIT ALL REQUIRED DOCUMENTATION TO THE AUTHORITY HAVING JURISDICTION (AHJ) AND OWNER

**11. IDENTIFICATION**

- 11.1. COLOR CODE SECONDARY PHASE CONDUCTORS FOR FEEDERS AND BRANCH CIRCUITS. COLORING SHALL BE FACTORY APPLIED FOR SMALL CONDUCTORS. PHASE CONDUCTORS 8AWG AND LARGER AND NEUTRAL AND GROUND CONDUCTORS 4AWG AND LARGER MAY BE FIELD APPLIED USING COLORED PRESSURE-SENSITIVE PLASTIC TAPE. CONDUCTORS SHALL BE COLORED:
  - 208/120-VOLT
  - PHASE A: BLACK
  - PHASE B: RED
  - PHASE C: BLUE
  - NEUTRAL: WHITE
- GROUND: GREEN
- 14.1. POWER CIRCUITS SHALL BE IDENTIFIED IN JUNCTION AND DEVICE BOXES, MANHOLES, AND PANELBOARDS WITH THE PANEL AND CIRCUIT NUMBER. TELECOMMUNICATIONS AND ALARM CIRCUITS SHALL BE IDENTIFIED IN JUNCTION AND DEVICE BOXES, MANHOLES, EQUIPMENT RACKS, AND PANELS WITH THE CIRCUIT DESIGNATION. IDENTIFICATION SHALL BE BY:
  - 14.1.1. INTERIOR: PRE-PRINTED WRAPAROUND ADHESIVE LABELS.
- 14.2. EQUIPMENT LABELS SHALL BE ENGRAVED PLASTIC LAMINATE, WHITE LETTERING ON A BLACK FIELD. TEXT SHALL BE 1/2" HIGH ON A 1-1/2" HIGH LABEL. LABELS WITH TWO LINES OF TEXT SHALL USE A 2" HIGH LABEL. EQUIPMENT LABELS SHALL BE PLACED ON SWITCHBOARDS, PANELBOARDS, MOTOR STARTERS, DISCONNECTS, CONTACTORS, AND SYSTEM PANELS AND CABINETS.
- 14.3. DEVICE COVERS SHALL BE LABELED WITH THE PANEL AND CIRCUIT NUMBER. LABELS SHALL BE MACHINE-PRINTED, PRESSURE-SENSITIVE ADHESIVE LABELS, BLACK LETTERING ON A CLEAR BACKGROUND.
- 14.4. IN UNFINISHED AND CONCEALED AREAS, PAINT COVERS OF JUNCTION BOXES TO IDENTIFY USE:
  - 14.4.1. FIRE ALARM: RED.
  - 14.4.2. TELECOMMUNICATIONS: BLUE.
  - 14.4.3. LOW-VOLTAGE CONTROLS: GREEN.
- 14.5. PROVIDE TYPEWRITTEN CIRCUIT DIRECTORIES UNDER PLASTIC IN FRAMES FOR EACH NEW AND MODIFIED PANELBOARD. HANDWRITTEN DIRECTORIES OR CHANGES TO EXISTING DIRECTORIES ARE NOT ACCEPTABLE.

**15. PROJECT COMPLETION / TESTING AND ACCEPTANCE**

- 15.1. UPON PROJECT COMPLETION, CLEAN ALL ELECTRICAL EQUIPMENT AND FIXTURES AND REPLACE OR REPAIR ANY ITEMS SCRATCHED, DENTED, OR OTHERWISE DISFIGURED.
- 15.2. TEST ALL SYSTEMS TO ASSURE PROPER OPERATION. TEST MODIFIED PORTIONS OF EXISTING SYSTEMS UNLESS OTHERWISE DIRECTED.
- 15.3. NOTIFY OWNER OF TEST SCHEDULE AND PROVIDE WRITTEN TEST REPORTS. INCLUDE DEFICIENCIES IDENTIFIED AND ACTIONS TAKEN TO OBTAIN ACCEPTABLE RESULTS.
- 15.4. COMMISSION ELECTRICAL SYSTEMS IN ACCORDANCE WITH NECA 90 GUIDELINES. DURING FINAL INSPECTION, DEMONSTRATE SATISFACTORY OPERATION OF ENTIRE INSTALLATION. REPAIR OR REPLACE FAILED ITEMS AND REPAIR ALL CONSTRUCTION DAMAGE.
- 15.5. MAINTAIN RED-LINED AS-BUILT RECORD DRAWINGS AS PROJECT PROGRESSES AND DELIVER TO OWNER AFTER FINAL INSPECTION AND ACCEPTANCE.



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2515 A Street  
Anchorage, Alaska 99503  
(907) 276-4245  
544 4th Avenue,  
Suite 102  
Fairbanks, Alaska 99701  
(907) 452-2128  
3017 Clinton Drive  
Suite 201  
Juneau, Alaska 99801  
(907) 790-2901  
351 W. Parks Highway  
Suite 200  
Wasilla, Alaska 99554  
(907) 376-7815

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Project:  
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TANANA CHIEFS CONFERENCE  
122 1ST AVENUE  
FAIRBANKS, AK 99701

Project Mgr.	VANDERWEELE
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Sheet Contents:  
**ELECTRICAL  
SPECIFICATIONS**

Sheet No.:  
**E-301**

STANTEC W.O. 2046049200

**CPJTB 5<sup>th</sup> FLOOR RESTROOM PHOTOS**



**Restroom Partitions**



**Wash Area**



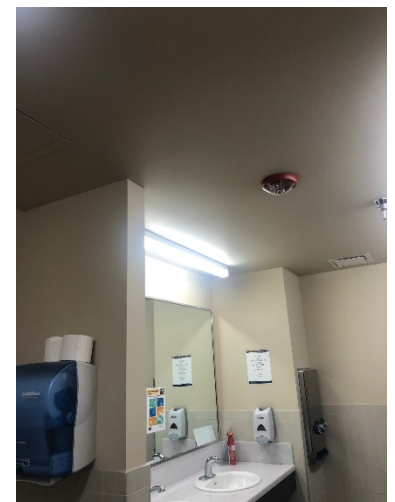
**Sanitary Napkin Vendor**



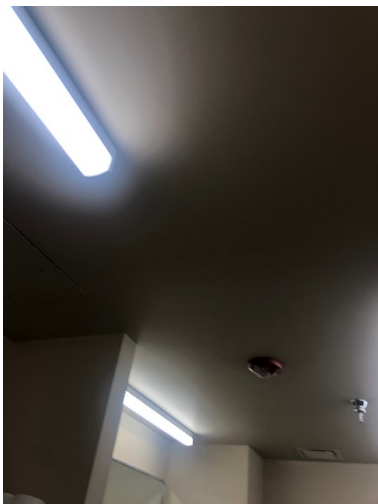
**Entry/Baby Changing Area**



**Handicap Restroom**



**Lighting and Ceiling**



**Lighting and Ceiling**









